

1 **City of Rifle Central Business District**
2 **Glossary of Design Concepts and Terms**

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Division 1: Introduction

Section 110: Purpose of this Glossary:

33 Many of the concepts and terms used in Chapter 16, Article XVIII of the Rifle Municipal Code (Central
34 Business District) can be interpreted in a variety of ways, particularly with respect to the site and building
35 design standards contained in Divisions 2 through 7. As such, the City has prepared this document (referred
36 to in the Code and hereafter as the CBD Glossary) to ensure that over time such concepts and terms are
37 applied consistently and to assist private land owners and developers in understanding and executing the
38 standards established for the Central Business District. This CBD Glossary is a non-codified accompaniment
39 to Chapter 16, Article XVIII of the Code. However, it will be used as an official reference by City staff and
40 elected and appointed officials when evaluating a project’s consistency with the Code. Further, this CBD
41 Glossary has been officially adopted by the City in association with Chapter 16, Article XVIII of the Code
42 and is thus considered a regulatory document enforceable by law.

43 Land use descriptions and other customary zoning ordinance terms not included in this CBD Glossary are
44 defined in Section 16-1-220 of the Code.

Division 2: Design Concepts for Historic Restoration

Section 210: Purpose and Objectives

47 The purpose of these concepts and standards is to encourage the preservation of downtown Rifle’s historic
48 buildings and to provide guidance on the proper preservation/restoration of these important buildings. The
49 Rifle Downtown Master Plan identified several high-priority preservation sites, which also are identified in the
50 character and thematic overview text of each sub-district. For these properties, the standards of this section
51 are mandatory with respect to building exteriors. For other historic properties (those built prior to 1940)
52 these standards are strongly encouraged. Note that these standards also apply to historic single homes that
53 are converted to commercial or live/work uses as well as the specific standards for such conversions as
54 contained in Division 6 of this Glossary.

55 All preservation and restoration activities should be comply with the US Secretary of the Interior's Standards
56 and Guidelines for Archeology and Historic Preservation (see [http://www.nps.gov/history/local-
57 law/arch_stnds_0.htm](http://www.nps.gov/history/local-law/arch_stnds_0.htm)). Note that for the purposes of this section of the CBD Glossary and Article XVIII
58 of the Code, the terms “preservation” and “preservation/restoration” are used as catch-all terms for the
59 terms “preservation”, “rehabilitation”, “restoration”, and “reconstruction” as defined by the National Park
60 Service with the goal of these standards being the preservation and maintenance of historic buildings and
61 their features consistent with the federal guidelines.

62 The objectives of preservation projects should be as follows:

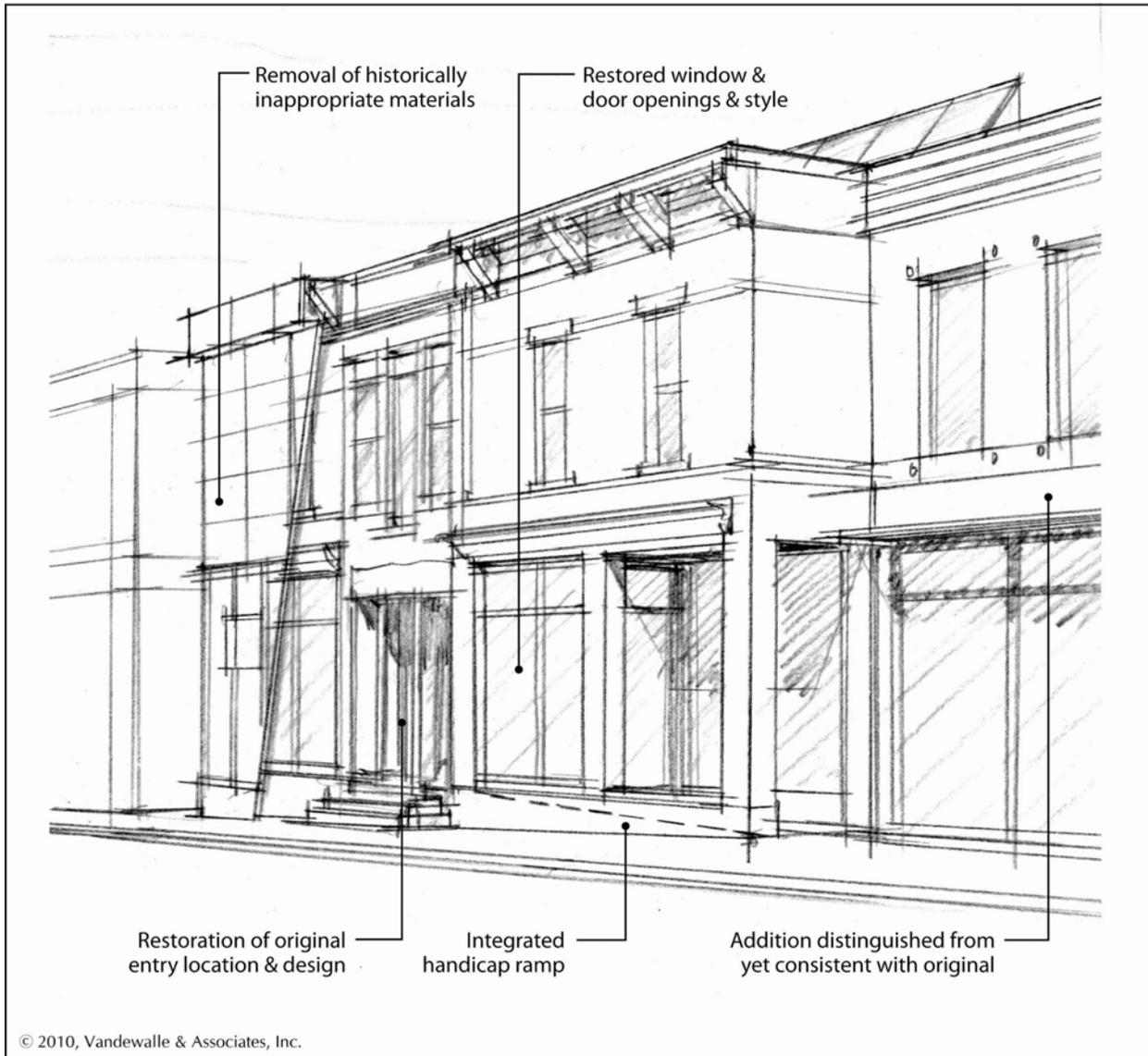
- 63 (a) Preserve buildings important to Rifle’s history and the character of the Central Business District
64 (CBD).
- 65 (b) Adapt historic buildings to economically viable uses which, in turn, permit the ongoing maintenance
66 of the buildings.
- 67 (c) Create an attractive, high quality building and site.
- 68 (d) Create an asset to the CBD and the particular sub-district.
- 69 (e) Preserve/restore historic buildings in an appropriate manner consistent with the Secretary of the
70 Interior’s standards and guidelines, including but not limited to the following:
 - 71 (1) A property may be used as it was historically or be given a new use that maximizes the
72 retention of distinctive materials, features, spaces, and spatial relationships.

- 73 (2) Recognize each property as a physical record of its time, place, and use. Work needed to
74 stabilize, consolidate, and conserve existing historic materials and features should be
75 physically and visually compatible.
- 76 (3) Retain and preserve changes to a property that have acquired historic significance in their
77 own right. However, changes that create a false sense of historical development, such as
78 conjectural features or elements from other historic properties, should not be retained or
79 undertaken.
- 80 (4) Preserve distinctive materials, features, finishes, and construction techniques or examples of
81 craftsmanship that characterize a property. The existing condition of historic features
82 should be evaluated to determine the appropriate level of intervention needed. Deteriorated
83 historic features should be repaired rather than replaced. Where the severity of deterioration
84 requires replacement of a distinctive feature, the new feature will match the old in design,
85 color, texture, and, where possible, materials. Replacement of missing features should be
86 substantiated by documentary and physical evidence. A false sense of history should not be
87 created by adding conjectural features, features from other properties, or by combining
88 features that never existed together historically.
- 89 (5) Chemical or physical treatments, if appropriate, should be undertaken using the gentlest
90 means possible. Treatments that cause damage to historic materials should not be used.
- 91 (6) Reconstruction may be used to depict vanished or non-surviving portions of a property
92 when documentary and physical evidence is available to permit accurate reconstruction with
93 minimal conjecture, and such reconstruction is essential to the public understanding of the
94 property. A reconstruction should be clearly identified as a contemporary re-creation.
95 Designs that were never executed historically should not be constructed.
- 96 (7) New additions, exterior alterations, or related new construction should not destroy historic
97 materials, features, and spatial relationships that characterize the property. The new work
98 should be differentiated from the old and should be compatible with the historic materials,
99 features, size, scale and proportion, and massing to protect the integrity of the property and
100 its environment. New additions and adjacent or related new construction should be
101 undertaken in such a manner that, if removed in the future, the essential form and integrity
102 of the historic property and its environment would be unimpaired.
- 103 (8) Archeological resources should be protected and preserved in place. If such resources must
104 be disturbed, mitigation measures should be undertaken.
- 105 (f) Create a project that conforms to the project review criteria for the particular sub-district.

106 **Section 220: Design Concepts**

107 Figure 220 illustrates concepts to be followed for preserving/restoring historic structures. These concepts are
108 then reflected in the site and building design standards that follow the illustration.

Figure 220: Historic Preservation Design Concepts



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111 Section 230: Site Design Standards

112 In general, historic building sites should follow the site design standards of the applicable sub-district as
 113 closely as possible/practical. In addition, any site feature other than the building that contributes to the
 114 historic nature of the property should be preserved/restored. Table 230 provides additional guidance on and
 115 modifications to the site design standards listed in the Code for each sub-district, as they relate to historic
 116 properties. If the site design standards of this section and those listed in the Code are determined to be in
 117 conflict, the standards of this section will generally prevail. Note, however, that this section and Figure 220
 118 are not meant to provide an all encompassing list of standards. Given the variety of historic building and lot
 119 configurations and designs and the nature of the proposed use, the applicability/practicality of these
 120 standards and those specific to the sub-district will need to be evaluated and applied on a case-by-case basis
 121 to ensure the purpose and objectives described in Section 210, above, are met.

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Table 230

Site Design Element	Required	Preferred	Discouraged	Prohibited
(a) Site Access – Pedestrian	<ul style="list-style-type: none"> Consistent with sub-district standards 	<ul style="list-style-type: none"> Handicapped ramp requirements integrated into front walk with gradual rise with minimal need for handrails Where required, handicapped ramp handrails consistent with design and materials used on building 	<ul style="list-style-type: none"> Serpentine handicapped ramp at main entry 	
(b) Site Access – Vehicular	<ul style="list-style-type: none"> Consistent with sub-district standards. 		<ul style="list-style-type: none"> Curb cut and driveway in a yard where not already present (may be relocated if one already exists) 	<ul style="list-style-type: none"> Paving over/ removing historic site features
(c) Parking & Loading	<ul style="list-style-type: none"> Consistent with sub-district standards 		<ul style="list-style-type: none"> Location and layout that detracts from historic character of the building or property 	<ul style="list-style-type: none"> Paving over/ removing historic site features
(d) Utility Areas	<ul style="list-style-type: none"> Consistent with sub-district standards 		<ul style="list-style-type: none"> Location and layout that detracts from historic character of the building or property 	<ul style="list-style-type: none"> Paving over/ removing historic site features
(e) Lighting	<ul style="list-style-type: none"> Consistent with sub-district standards Compatible with the historic period of the building 	<ul style="list-style-type: none"> Location and layout that enhances historic character of the building or property 	<ul style="list-style-type: none"> Location and layout that detracts from historic character of the building or property 	
(f) Open Space & Plazas		<ul style="list-style-type: none"> Location and layout that enhances historic character of the building or property 	<ul style="list-style-type: none"> Location and layout that detracts from historic character of the building or property 	<ul style="list-style-type: none"> Covering/ removing historic site features
(g) Landscaping	<ul style="list-style-type: none"> Consistent with sub-district standards Perimeter screening of all parking areas consistent with Section 16-18-980 	<ul style="list-style-type: none"> Layout and materials that enhance historic character of the building or property 	<ul style="list-style-type: none"> Layout and materials that detract from historic character of the building or property 	<ul style="list-style-type: none"> Covering/ removing historic site features
(h) Stormwater Management	<ul style="list-style-type: none"> Consistent with sub-district standards 	<ul style="list-style-type: none"> Layout and materials that enhance historic character of the building or property 	<ul style="list-style-type: none"> Layout and materials that detract from historic character of the building or property 	<ul style="list-style-type: none"> Covering/ removing historic site features
(i) Fences and Walls	<ul style="list-style-type: none"> Consistent with sub-district standards Design and materials compatible with the historic period of the building 	<ul style="list-style-type: none"> Location and materials that enhance historic character of the building or property 	<ul style="list-style-type: none"> Location and materials that detract from historic character of the building or property 	<ul style="list-style-type: none"> Covering/ removing historic site features
(j) Accessory Structures	<ul style="list-style-type: none"> Consistent with sub-district standards Compatible with historic period of the 	<ul style="list-style-type: none"> Location and materials that enhance historic character of the building or 	<ul style="list-style-type: none"> Location and materials that detract from historic character of the 	<ul style="list-style-type: none"> Covering/ removing historic site features

Table 230

Site Design Element	Required	Preferred	Discouraged	Prohibited
	main building	property	building or property	
(k) Use and Improvement of ROW	<ul style="list-style-type: none"> Consistent with sub-district standards 	<ul style="list-style-type: none"> Location and materials that enhance historic character of the building or property 	<ul style="list-style-type: none"> Location and materials that detract from historic character of the building or property 	

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126 **Section 240: Building Design Standards**

127 In general, historic preservation projects should attempt to preserve as much of the original structure and
 128 finishes as possible in addition to repairing or, where absolutely necessary, replacing exterior elements and
 129 details.

130 The building design standards listed in the Code for each sub-district have been crafted to be compatible with
 131 the many historic buildings in Rifle’s downtown. Accordingly, preservation of historic buildings should pose
 132 few, if any, inconsistencies with the Central Business District building design standards. As a result, most of
 133 the standards in Table 240 below (and those concepts illustrated on Figure 220) should be interpreted and
 134 applied as being in addition to, not in lieu of, the standards in the Code. However, if the building design
 135 standards of this section and those in the Code are determined to be in conflict, the standards of this section
 136 will generally prevail.

137 The preservation/restoration of all High-Priority Preservation Buildings identified in each sub-district in the
 138 Code is mandatory. For all other historic buildings (those built prior to 1940), preservation/ restoration is
 139 preferred. For the identified High-Priority Preservation Buildings, all standards listed below as “preferred”
 140 should be interpreted and applied as being required. Note, however, that this Section and Figure 220 are not
 141 meant to be an all encompassing list of historic preservation concepts and building design standards. Given
 142 the variety of historic buildings and potential reuses, the applicability/ practicality of these standards and
 143 those listed in the Code will need to be evaluated on a case-by-case basis.

Table 240

Building Design Element	Required	Preferred	Discouraged	Prohibited
(a) Architectural style	<ul style="list-style-type: none"> Preservation/restoration of all High-Priority Preservation Buildings as identified in sub-district Additions compatible existing building 	<ul style="list-style-type: none"> Preservation/restoration of all other historic buildings Preservation/restoration of all exposed sides Preservation/restoration consistent with Secretary of Interior standards and guidelines 		
(b) Façade & Articulation	<ul style="list-style-type: none"> Additions distinguished from, yet compatible with, existing historic structure 	<ul style="list-style-type: none"> Preservation/restoration of historic footprint, form and articulation on all sides Additions well-integrated into total building structure and design Additions with unarticulated wall planes similar to existing structure 	<ul style="list-style-type: none"> Significant alteration of historic footprint, form or articulation on any side Additions with unarticulated wall planes significantly greater than existing structure 	
(c) Public Entries		<ul style="list-style-type: none"> Preservation/ 	<ul style="list-style-type: none"> External stairs and fire 	<ul style="list-style-type: none"> External stairs not a part

Table 240

Building Design Element	Required	Preferred	Discouraged	Prohibited
<i>Public Entries cont.</i>		restoration of original entry location and design	escapes not a part of the original design serving upper floors	of the original design serving upper floors on primary façade
(d) Fenestration & Transparency		<ul style="list-style-type: none"> ◆ Preserve/restore original window and door openings and styles ◆ Transparency of sides of additions similar to existing structure 	<ul style="list-style-type: none"> ◆ Closure of original window and door openings ◆ Window sizes and styles not consistent with historic character ◆ Transparency of sides of additions significantly dissimilar to existing structure 	
(e) Detailing, Materials & Colors	<ul style="list-style-type: none"> ◆ Additions distinguished from, yet compatible with, existing historic structure 	<ul style="list-style-type: none"> ◆ Preservation/restoration of historic elements of building ◆ Removal of historically inappropriate materials ◆ Restoration of original colors 	<ul style="list-style-type: none"> ◆ Removal/covering of original/historic details and materials ◆ Painting original natural brick in good condition ◆ Use of colors that are inconsistent with historic period/style 	
(f) Roofs/ Building Tops	<ul style="list-style-type: none"> ◆ Roofs on additions compatible with design of existing building 	<ul style="list-style-type: none"> ◆ Preservation/restoration of historic roof form and material ◆ Removal of historically inappropriate materials 	<ul style="list-style-type: none"> ◆ Significant alteration of historic roof form and material 	
(g) Signage	<ul style="list-style-type: none"> ◆ Consistent with sub-district standards 	<ul style="list-style-type: none"> ◆ Location and materials consistent with those used historically 	<ul style="list-style-type: none"> ◆ Covering historic details ◆ Damages/destroys historic detail or material ◆ Styles and materials that detract from historic character 	
(h) Sustainability (applies to exterior elements only)	<ul style="list-style-type: none"> ◆ Consistent with sub-district standards 	<ul style="list-style-type: none"> ◆ Use of sustainable elements that do not detract from historic character 	<ul style="list-style-type: none"> ◆ Use of sustainable elements that detract from historic character 	

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Division 3: Conversion of a Single Family Home to Commercial Use

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Section 310: Purpose and Objectives

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The purpose and objectives of these standards is to permit the conversion of exiting single family homes into commercial or live/work uses while maintaining the integrity and appearance of a single family home.

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Although the Downtown Master Plan and Chapter 16, Article XVIII of the Code anticipate the ultimate removal and replacement of many existing homes with more intensive commercial and residential

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development, there are some very attractive homes in good condition where conversions may be economically feasible as either an interim or long term redevelopment strategy.

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Conversions in general or of any one particular property are neither preferred nor discouraged within the Central Business District; however, where such conversions are proposed, they should follow the standards of this section. The objectives of conversions should be as follows:

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(a) Maintain an overall, single family residential appearance and integrity of the structure and the site.

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(b) Preserve and restore any unique historic attributes of the structure and property.’

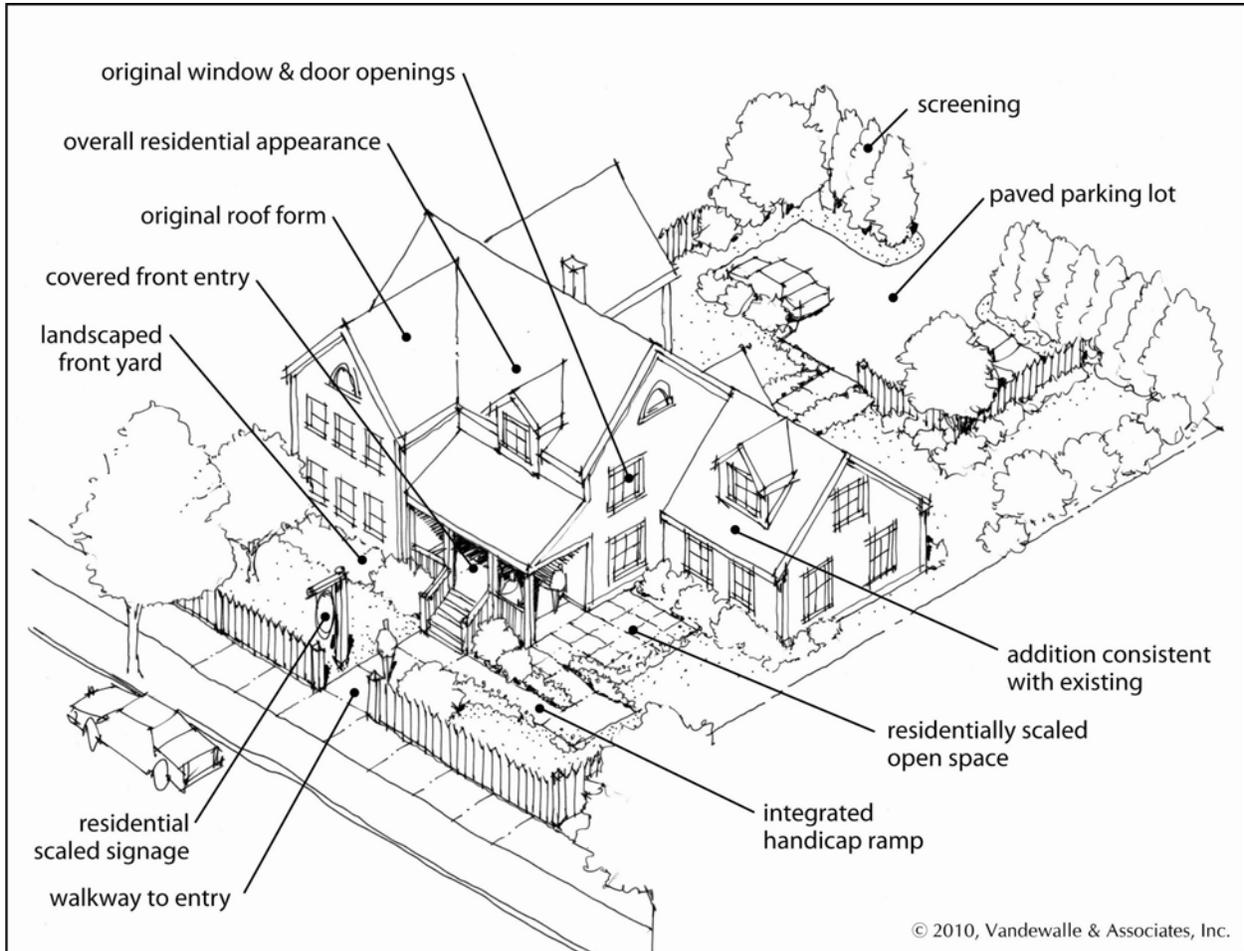
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- 158 (c) Create an attractive, high quality building and site.
- 159 (d) Create an asset to the CBD and the particular sub-district.
- 160 (e) Create a project that conforms to the project review criteria for the particular sub-district.

161 **Section 320: Design Concepts**

162 Figure 320 illustrates concepts to be followed for conversions. These concepts are then reflected in the site
 163 and building design standards sections that follow the illustration.

164 **Figure 320: Single Family Conversion Design Concepts**



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166 **Section 330: Site Design Standards**

167 In general, single family home conversions to commercial or live/work uses should follow the site design
 168 standards of the applicable sub-district as closely as possible/practical. This Section provides some additional
 169 guidance on and modifications to the site design standards listed for each sub-district in the Code as they
 170 relate to home conversions, many of which are illustrated on Figure 320. If the standards of this section and
 171 those listed for the applicable sub-district are determined to be in conflict, the standards of this section will
 172 generally prevail. Note, however, that Table 330 and Figure 320 are not meant to be an all encompassing list
 173 of standards. Given the variety of potential home and lot configurations and designs and the nature of the
 174 proposed use, the applicability/practicality of these standards and those in the applicable sub-district will need
 175 to be evaluated on a case-by-case basis in order to ensure the purpose and objectives described in Section
 176 310, above, are met.

Table 330

Site Design Element	Required	Preferred	Discouraged	Prohibited
(a) Site Access – Pedestrian	<ul style="list-style-type: none"> Consistent with sub-district standards Minimum 4' wide walkway connecting front door to sidewalk Minimum 4' walkway connecting any on-site parking area to public entry 	<ul style="list-style-type: none"> Handicapped ramp requirements integrated into front walk with gradual rise with minimal need for handrails Where required, handicapped ramp handrails consistent with design and materials used on building 	<ul style="list-style-type: none"> Serpentine handicapped ramp at front door 	
(b) Site Access – Vehicular	<ul style="list-style-type: none"> Consistent with sub-district standards Access from alley, where alley is present 			<ul style="list-style-type: none"> Curb cut and driveway in the front yard where not already present (may be relocated if one already exists)
(c) Parking & Loading	<ul style="list-style-type: none"> Consistent with sub-district standards On-site parking for building residents 	<ul style="list-style-type: none"> Parking behind building Paved surface lots for up to four cars 	<ul style="list-style-type: none"> Parking to the side of the building Surface lots larger than 8 cars 	<ul style="list-style-type: none"> Parking in front of the building
(d) Utility Areas	<ul style="list-style-type: none"> Consistent with sub-district standards 			<ul style="list-style-type: none"> Outdoor display of merchandise other than art, fountains, and landscape materials that are visually and functionally integrated into the landscape plan
(e) Lighting	<ul style="list-style-type: none"> Consistent with sub-district standards Pedestrian/ residential scaled throughout the site 			
(f) Open Space and Plazas	<ul style="list-style-type: none"> Residentially scaled and visually and functionally integrated into landscape plan. 			
(g) Landscaping	<ul style="list-style-type: none"> Consistent with sub-district standards Parking perimeter landscaping per Section 16-18-980 Landscaped front yard consistent with residential appearance 			
(h) Stormwater Management	<ul style="list-style-type: none"> Consistent with sub-district standards 	<ul style="list-style-type: none"> On-site detention Integrated with landscape plan 		
(i) Fences and Walls	<ul style="list-style-type: none"> Consistent with sub-district standards 			
(j) Accessory Structures	<ul style="list-style-type: none"> Consistent with sub-district standards Residential in scale and appearance 			

Table 330

Site Design Element	Required	Preferred	Discouraged	Prohibited
(k) Use and Improvement of ROW	<ul style="list-style-type: none"> Consistent with sub-district standards 			

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179 **Section 340: Building Design Standards**

180 In general, conversions of use should result in minimal alterations to the original exterior of the home itself.
 181 Further, older/historic homes should be restored to the extent feasible with their original detailing and
 182 features. Accordingly, conversions of historic properties also should follow the guidelines contained in
 183 Division 2 of this CBD Glossary.

184 Given the significant differences between the design of a home and the larger-scale commercial and
 185 residential structures called out in the Central Business Districts sub-districts, the building design standards of
 186 this section replace those listed for the applicable sub-district in Chapter 16, Article XVIII, of the Code
 187 except as noted. Many of the standards contained in Table 340 below are illustrated on Figure 330. Note,
 188 however, that this section and Figure 320 are not meant to be an all encompassing list of standards. Given the
 189 variety of potential home and lot configurations and designs and the nature of the proposed use, the
 190 applicability/practicality of these standards will need to be evaluated on a case-by-case basis in order to
 191 ensure the purpose and objectives described in paragraph 310, above, are met.

Table 340

Building Design Element	Required	Preferred	Discouraged	Prohibited
(a) Architectural style	<ul style="list-style-type: none"> Maintain single family residential appearance and integrity on all sides Additions consistent with design of existing structure 	<ul style="list-style-type: none"> Restoration of original/historic design elements of building 	<ul style="list-style-type: none"> Excessive detailing and ornamentation not a part of the original structure Use of commercial elements such as windows, lighting, and siding 	<ul style="list-style-type: none"> False façades
(b) Façade & Articulation	<ul style="list-style-type: none"> Consistent with original design and residential character Maintain entry on front (although main business entry may be located elsewhere) 	<ul style="list-style-type: none"> Restoration of historic/original design elements of building 	<ul style="list-style-type: none"> Removal of historic/original design elements of building 	<ul style="list-style-type: none"> Increase in the area of unarticulated wall plane on any façade
(c) Public Entries	<ul style="list-style-type: none"> In scale with residential character and scale of the building Address visible from street 	<ul style="list-style-type: none"> Covered by awning or canopy consistent with building design 	<ul style="list-style-type: none"> External stairs and fire escapes serving upper floors 	<ul style="list-style-type: none"> External stairs serving upper floors on front façade
(d) Fenestration & Transparency		<ul style="list-style-type: none"> Retain original window and door openings Transparency of sides of additions similar to existing structure 	<ul style="list-style-type: none"> Closure of original window and openings 	<ul style="list-style-type: none"> Reduction in transparency of any elevation by more than 5% Window sizes and styles not consistent with residential appearance
(e) Detailing, Materials & Colors	<ul style="list-style-type: none"> Consistent with original design and residential character Materials and detailing 	<ul style="list-style-type: none"> Restoration of historic/original elements of building Removal of historically 	<ul style="list-style-type: none"> Removal/covering of original/historic details and materials Domed awnings 	<ul style="list-style-type: none"> Use of detailing and materials not consistent with residential appearance

Table 340

Building Design Element	Required	Preferred	Discouraged	Prohibited
<i>Detailing, Materials, and Colors cont.</i>	of additions consistent with existing building	<ul style="list-style-type: none"> ◆ inappropriate materials ◆ Colors consistent with architectural style ◆ Color scheme with max. of 3 colors 	<ul style="list-style-type: none"> ◆ Backlit awnings ◆ Color schemes with more than 5 colors 	
(f) Roofs/ Building Tops	<ul style="list-style-type: none"> ◆ Retain original roof form ◆ Roofing material consistent residential style of building ◆ Roofs on additions compatible with design of existing building 	<ul style="list-style-type: none"> ◆ Restoration of historic/original roofing material ◆ Removal of historically inappropriate materials 		<ul style="list-style-type: none"> ◆ Rooftop mechanicals visible from the front street
(g) Signage	<ul style="list-style-type: none"> ◆ Compliant with City Sign Code (Chapter 16, Article VIII) 	<ul style="list-style-type: none"> ◆ Material and design consistent with architectural style ◆ Shape and graphics consistent with business ◆ Simple and easy to read ◆ Opaque background with white or light-colored letters ◆ One of the following in scale with residential character: <ul style="list-style-type: none"> ○ wall sign ○ awning sign ○ shingle sign ○ monument sign 	<ul style="list-style-type: none"> ◆ Covering historic details ◆ More than one sign ◆ Lit sign ◆ Signs larger than 8 sq. ft. 	<ul style="list-style-type: none"> ◆ Damages/destroys historic detail or material ◆ Sign above the first floor ◆ Pole sign ◆ Roof sign ◆ Window sign ◆ Painted on wall sign ◆ Internally lit sign
(h) Sustainability (applies to exterior elements only)	<ul style="list-style-type: none"> ◆ Consistent with sub-district standards 			

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Division 4: Service Station Design Concepts and Standards

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Sec. 410: Purpose and Objectives

The purpose and objectives of these standards is to provide guidance on the development or redevelopment of service stations where permitted in the Central Business District. The unique nature of this land use makes it difficult, if not impossible, to comply with all of the sub-district site and building design standards listed in Chapter 16, Article XVIII of the Code.

Accordingly, the site and building design standards in this section of the CBD Glossary take precedence over those listed in the sub-districts of the Code except where noted. However, to the extent possible, it is critically important that service stations maintain a high level of consistency with other development in the applicable sub-district and Central Business District in terms of appearance and quality. As such, these standards are to be interpreted and applied as modifications to the underlying sub-district standards as opposed to being a complete replacement of those standards.

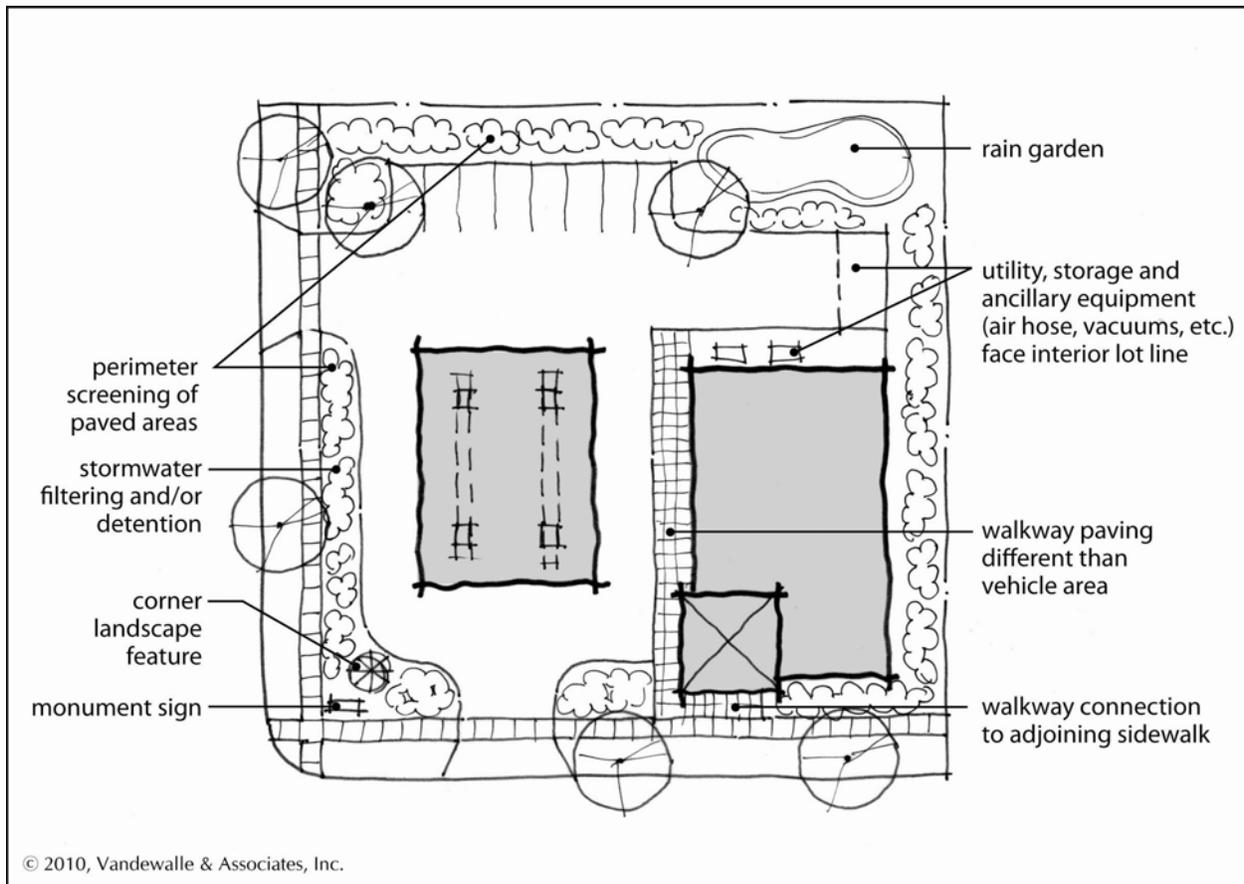
The objectives in developing a service station should be as follows:

- (a) Develop a site with a functional and attractive layout with improvements that are consistent with the character and theme of other development in the sub-district.
- (b) Develop an attractive and functional building and canopy with designs and finishes that are consistent with the character and theme of other development in the sub-district.
- (c) Create an asset to the Central Business District and the particular sub-district.
- (d) Create a project that conforms to the project review criteria for the particular sub-district.

214 **Sec. 420: Design Concepts**

215 Figures 420-1 and 420-2 illustrate concepts to be followed for the development of service stations. These
216 concepts are further reflected in the site and building design standards in Sections 430 and 440.

217 **Figure 420-1: Service Station Design Concepts**



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Figure 420-2: Service Station Design Concepts



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221 **Sec. 430: Site Design Standards**

222 In general, service stations should follow the site design standards of the applicable sub-district as closely as
 223 possible/practical, as described in the Code. This section provides some additional guidance on and
 224 modifications to the sub-district standards specific to service stations, many of which are illustrated on Figure
 225 420. If the standards of this section and those listed in the Code are determined to be in conflict, the
 226 standards of this section will generally prevail. Note, however, that this section and Figure 420 are not meant
 227 to be an all encompassing list of standards. Given the variety of potential lot configurations, lot locations, and
 228 types of service stations, the applicability/practicality of these standards and those in the sub-district will need
 229 to be evaluated on a case-by-case basis.
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Table 430

Site Design Element	Required	Preferred	Discouraged	Prohibited
(a) Site Access – Pedestrian	<ul style="list-style-type: none"> Consistent with sub-district standards Minimum 5' wide walkway across front of building 	<ul style="list-style-type: none"> Direct walkway connection to adjoining sidewalk Walkways with paving differentiated from vehicle area paving 		
(b) Site Access – Vehicular	<ul style="list-style-type: none"> Consistent with sub-district standards 			<ul style="list-style-type: none"> More than two access points
(c) Parking & Loading	<ul style="list-style-type: none"> Consistent with sub-district standards 			
(d) Utility and Storage Areas	<ul style="list-style-type: none"> Consistent with sub-district standards 	<ul style="list-style-type: none"> Air, vacuums and similar facilities located along/facing interior lot lines, not streets 	<ul style="list-style-type: none"> Air, vacuums and similar facilities located along/facing streets 	<ul style="list-style-type: none"> Non-removal, outdoor display of merchandise
(e) Lighting	<ul style="list-style-type: none"> Consistent with sub-district standards 		<ul style="list-style-type: none"> Internally lit canopy fascia 	

Table 430

Site Design Element	Required	Preferred	Discouraged	Prohibited
<i>Lighting cont.</i>	<ul style="list-style-type: none"> Maximum of 2.0 foot candles under canopy 			
(f) Open Space & Plazas	N/A			
(g) Landscaping	<ul style="list-style-type: none"> Consistent with sub-district standards Parking perimeter landscaping per 16-18-980 	<ul style="list-style-type: none"> For corner lots, corner landscape feature Perimeter landscaping integrated into stormwater management system 		
(h) Stormwater Management	<ul style="list-style-type: none"> Consistent with sub-district standards Oil-water separators per City standards 	<ul style="list-style-type: none"> Underground infiltration/ detention systems as primary system Augmented with landscaping such as rain gardens and green roofs 		
(i) Fences and Walls	<ul style="list-style-type: none"> Consistent with sub-district standards Meets visibility triangle requirements per Chapter 16, Article XIII Paving perimeter screen walls consistent with Section 16-18-980 			
(j) Accessory Structures	<ul style="list-style-type: none"> Consistent with sub-district standards 			
(k) Use and Improvement of ROW	<ul style="list-style-type: none"> Consistent with sub-district standards 			

231

232 **Sec. 440: Building Design Standards**

233 In general, service stations should follow the building design standards of the applicable sub-district as closely
 234 as possible/practical for both the principal building and the canopy, as described in applicable sub-district of
 235 the Code.. This section provides some additional guidance on and modifications to the sub-district standards
 236 specific to service stations, many of which are illustrated on Figure 420. If the standards of this section those
 237 listed in the Code are determined to be in conflict, the standards of this section will generally prevail. Note,
 238 however, that this section and Figure 420 are not meant to be an all encompassing list of building design
 239 standards. Given the variety of potential lot configurations, lot locations, and types of service stations, the
 240 applicability/practicality of these standards and those in the sub-district will need to be evaluated on a case-
 241 by-case basis.

242
 243

Table 440

Building Design Element	Required	Preferred	Discouraged	Prohibited
(a) Architectural style	<ul style="list-style-type: none"> Building consistent with standards of the sub-district Canopy and supports consistent with the building 			<ul style="list-style-type: none"> Franchise architecture Canopies that consist of a single band of color greater than 1’ wide.
(b) Façade & Articulation	<ul style="list-style-type: none"> Building consistent with standards of the sub-district 	<ul style="list-style-type: none"> One wall of the building located consistent with the street setbacks On corner lots, service bays located on interior side of lot (as opposed to street side) 		<ul style="list-style-type: none"> More than two service bays facing a primary street
(c) Public Entries	<ul style="list-style-type: none"> Consistent with standards of the sub-district 	<ul style="list-style-type: none"> Main entry as focal point of primary façade Covered by awning or canopy 		
(d) Fenestration & Transparency	<ul style="list-style-type: none"> Building consistent with standards of the sub-district Primary façade on non-service areas 25-50% transparent Min. 25% transparency on all other facades facing a street 			
(e) Detailing, Materials & Colors	<ul style="list-style-type: none"> Building and canopy consistent with standards of sub-district and each other Overhead service doors consistent with building design 			
(f) Roofs/ Building Tops	<ul style="list-style-type: none"> Building consistent with standards of sub-district 	<ul style="list-style-type: none"> Canopy with articulated fascia 	<ul style="list-style-type: none"> Internally lit canopy fascia 	
(g) Signage	<ul style="list-style-type: none"> Consistent with sub-district standards Compliant with City Sign Code (Chapter 16, Article VIII) 	<ul style="list-style-type: none"> Monument signs 	<ul style="list-style-type: none"> Poles signs 	<ul style="list-style-type: none"> More than one freestanding sign Covering more than 30% of any window
(h) Sustainability (applies to exterior elements only)	<ul style="list-style-type: none"> Consistent with sub-district standards Compliant with City energy code (Chapter 18-10-10) 			

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246

Division 5: Site Design Concepts and Terms

247 **Sec. 610: Introduction**

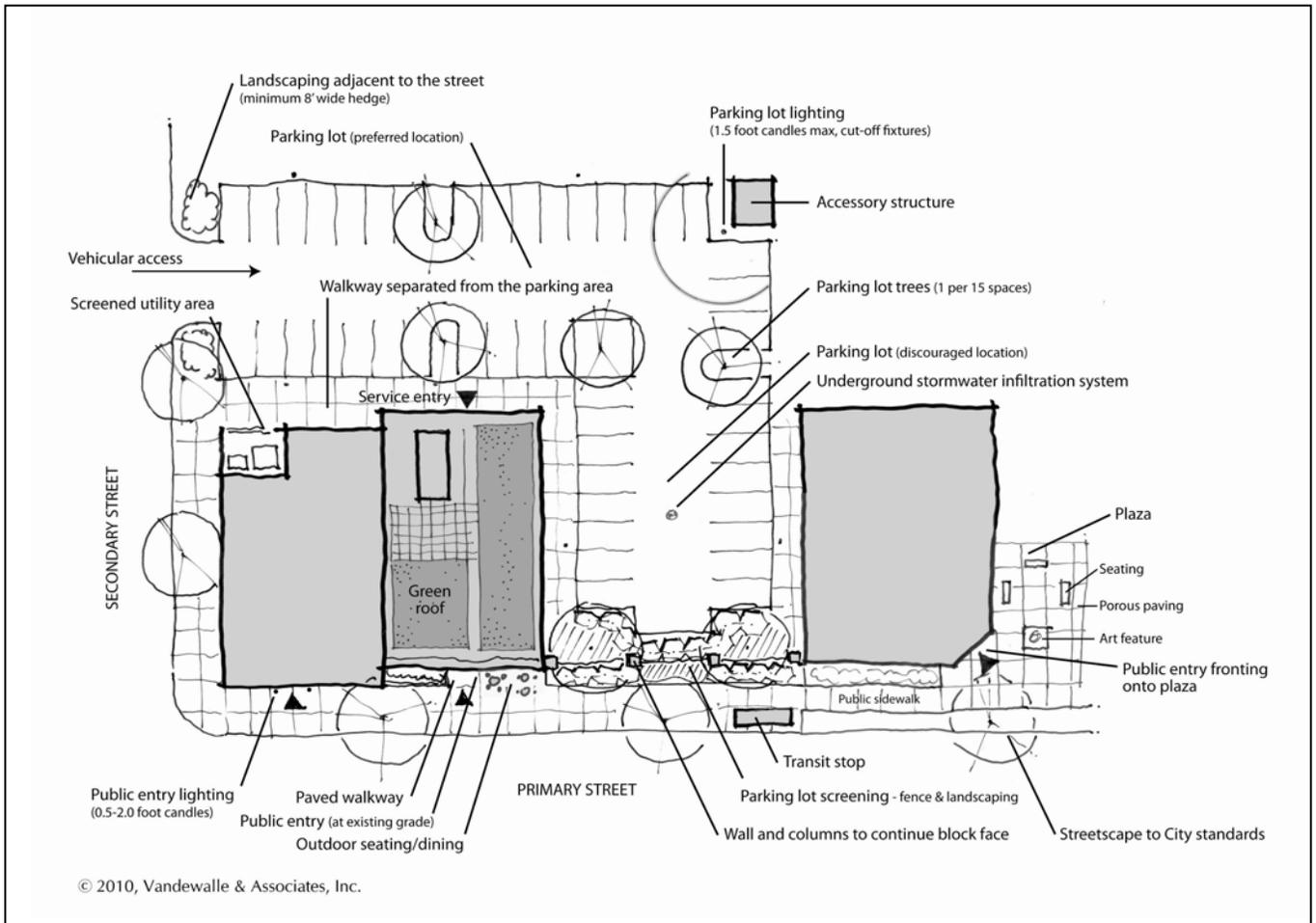
248 This section provides illustrations and definitions for some of the terms used in the sub-district site design
 249 standards tables found in Chapter 16, Article XVIII of the Code. To make it easier to find a particular term,
 250 the design element categories found in the far left column of the site design standards tables (e.g. Utilities and

251 Storage Areas, Fences and Walls, etc.) are presented in the same order as they are in the tables. Within each
252 element, terms are presented alphabetically.
253

254 **Sec. 520: Typical Site Layout Concepts**

255 See Figure 520 for illustrations of typical site layout concepts and terms used in Chapter 16, Article XVIII of
256 the Code.

257 **Figure 520: Site Layout Concepts**



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259
260

261 **Sec. 530: Site Design Terminology**

262 (a) Utilities and Storage Areas

263 (1) Fully screened mechanicals and
264 refuse containers: See photo
265 example.



Photo Example of fully screened refuse containers

266 (b) Lighting

267 (1) Cut-off/dark skies lighting: Light
268 fixtures that are designed to
269 direct light downward to the
270 ground and not up into the sky
271 or onto adjacent properties.

272 (2) Light fixture examples (multi-
273 socket, exposed bulb, etc.):

274 (c) Open Space and Plazas: See Figure 520

275 (d) Landscaping

276 (1) Coverage with living material:

277 The covering of raw ground or
278 bare soil with living landscape
279 materials at a growth size of two-thirds maturity, such as shrubs, groundcovers, perennials,
280 vines and all plants of all descriptions (excluding weeds or other unkempt vegetation).

281 (2) Limited and consistent pallet: A landscape with a limited collection of plant types that are
282 used repeatedly throughout a site.

283 (3) Invasive (plant) species: Species that are not native to Western Colorado and whose
284 introduction causes or is likely to cause economic or environmental harm, or harm to human
285 health.

286 (4) Landscaped area: Area containing any combination of trees, shrubs, perennials, flowers, or
287 groundcovers.

288 (5) Native material: Materials located in Western Colorado prior to the settlement era. Examples
289 include mulch made from native species and rock mined from local geologic formations.

290 (6) Native (plant) species: Species that are indigenous to or occur naturally in Western Colorado
291 and have not been introduced to the area by humans.

292 (7) Natural materials: Non-synthetic materials derived from plants or the earth.

293 (8) Non-native rock and stone: Rock that is mined from geologic formations other than those
294 present in Western Colorado.

295 (9) Passive solar strategies: A practice to utilize landscape materials to assist in the reduction of
296 energy consumption and control heat impacts. Examples include planting a deciduous shade
297 tree adjacent to a building to provide shade in the summer and allow sun in the winter, or
298 planting shade trees in a parking lot to reduce surface temperature.

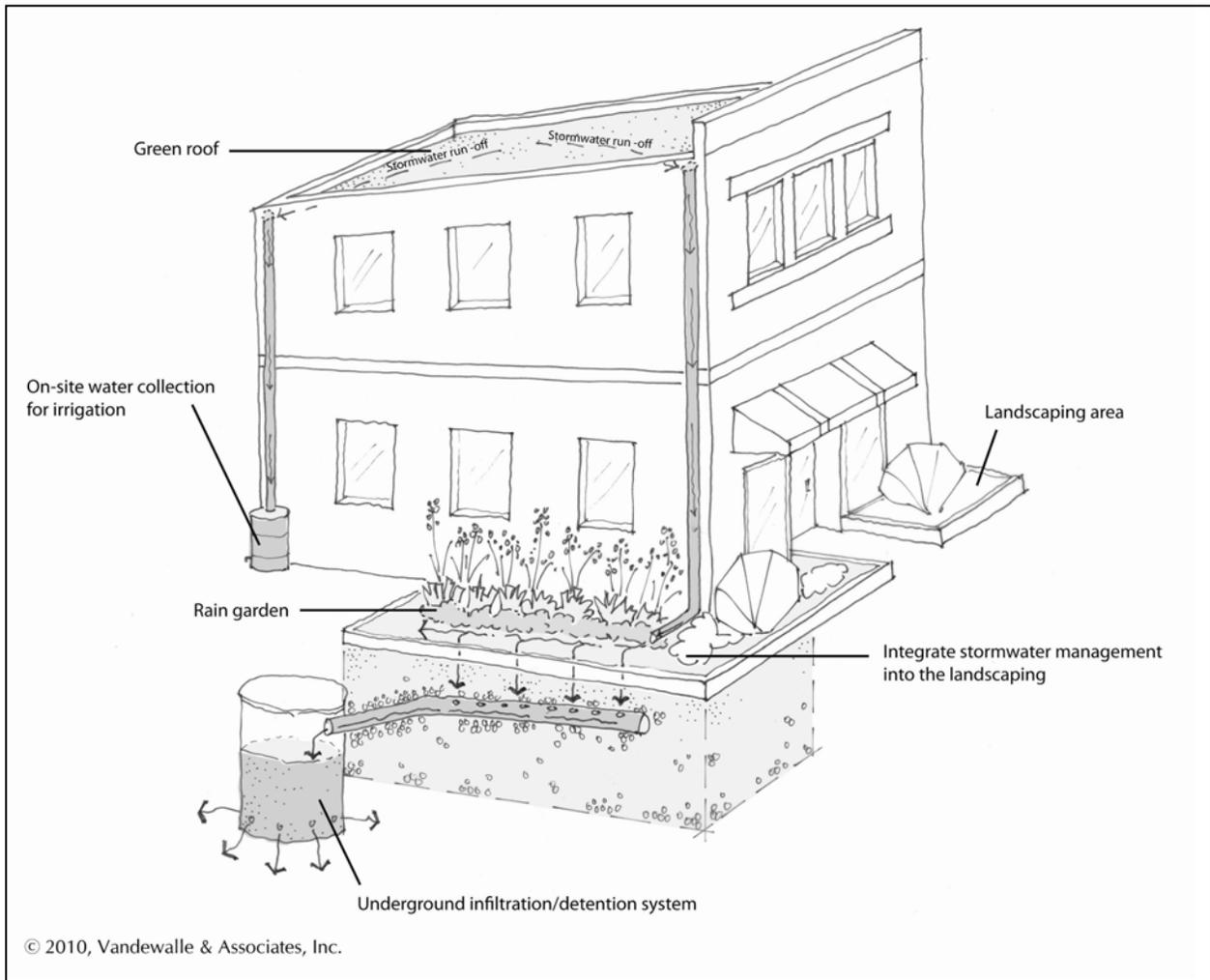
299 (10) Xeric plants: See “xeriscape” in Section 16-13-40 of the Rifle Municipal Code.

300 (e) Storm Water Management

301 (1) Detention areas: Areas in the landscape where storm water run-off is directed into and
302 stored temporarily with a fixed infiltration or release rate.

- 303 (2) Detention pit slopes: The slanted sides of a detention area.
- 304 (3) Green roofs: See definition under Section 16-1-220 of the Rifle Municipal Code
- 305 (4) Porous paving: Pavement that allows water to permeate the ground surface and infiltrate
- 306 into the soil.
- 307 (5) Rain barrels: A tank used to collect and store storm water runoff, typically flowing from
- 308 rooftops via rain gutters. The water can then be allowed to infiltrate back into the ground or
- 309 can be used for other purposes such as watering the garden (see Figure 530 “on-site water
- 310 collection for irrigation”).
- 311 (6) Rain gardens: A shallow, depressed garden that is designed and positioned on a lot to
- 312 capture stormwater runoff and allow for the infiltration of water back into the ground. Rain
- 313 garden plants are carefully chosen for their ability to withstand moisture extremes and
- 314 potentially high concentrations of nutrients and sediments that are often found in
- 315 stormwater runoff. A well designed and maintained rain garden serves as an attractive
- 316 component of an overall landscaping plan for a development site (see Figure 530).
- 317 (7) Underground infiltration/detention system: See Figure 530 below
- 318

Figure 530: Storm Water Management Concepts



320

321

(f) Fences and Walls

322

(1) Faux/non-traditional materials: A material that is manufactured to look like another material. Often times a synthetic material that has the appearance of a natural material.

323

324

(2) Gabion: A cylinder or wide mesh basket of woven metal or other material to be filled with earth, rubble, or stone blocks to form a wall or other solid feature.

325

326

(3) Visibility triangle: An area at a street corner or driveway that has limitations on the size and height of what can be placed within it in order to maintain safe visibility in all directions. See Sec. 16-7-140(i)(5) of the Rifle Municipal Code for the specific standards.

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(g) Accessory Structures: See Figure 520

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(h) Use and Improvement of ROW: See Figure 520

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Division 6: Building Design Concepts and Terms

332 **Sec. 610: Introduction**

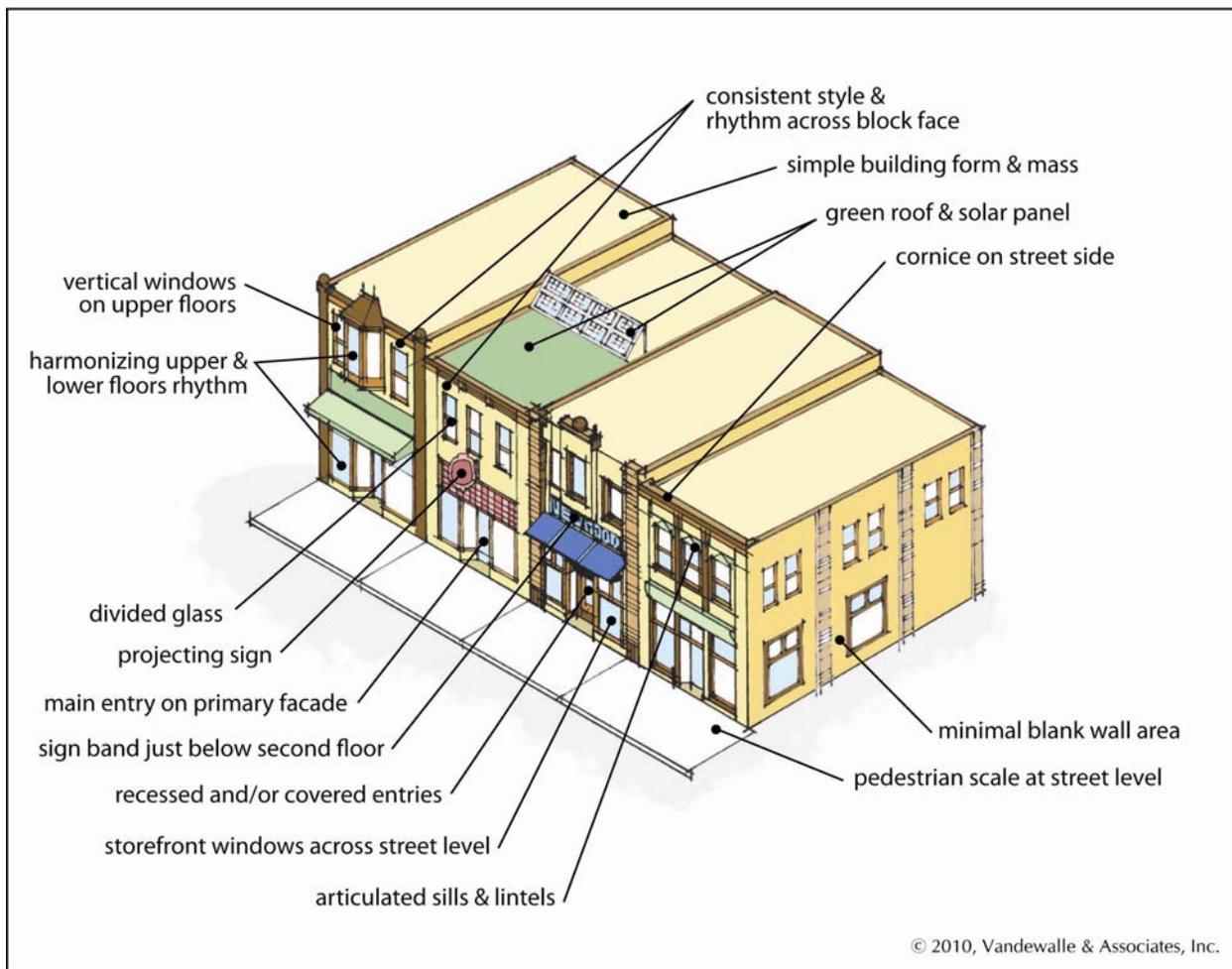
333 This section provides illustrations and definitions for some of the terms used in the sub-district building
 334 design standards tables in Chapter 16, Article XVIII of the Code. To make it easier to find a particular term,
 335 the design element categories found in the far left column of the building design standards tables (e.g.
 336 Architectural Style, Façade and Articulation, etc.) are presented in the same order as they are in the tables.
 337 Within each element, the terms are presented alphabetically.

338 **Sec. 620: Typical Building Design Concept**

339 See Figure 520 for illustrations of typical site layout concepts and terms used in Chapter 16, Article XVIII of
 340 the Code

341

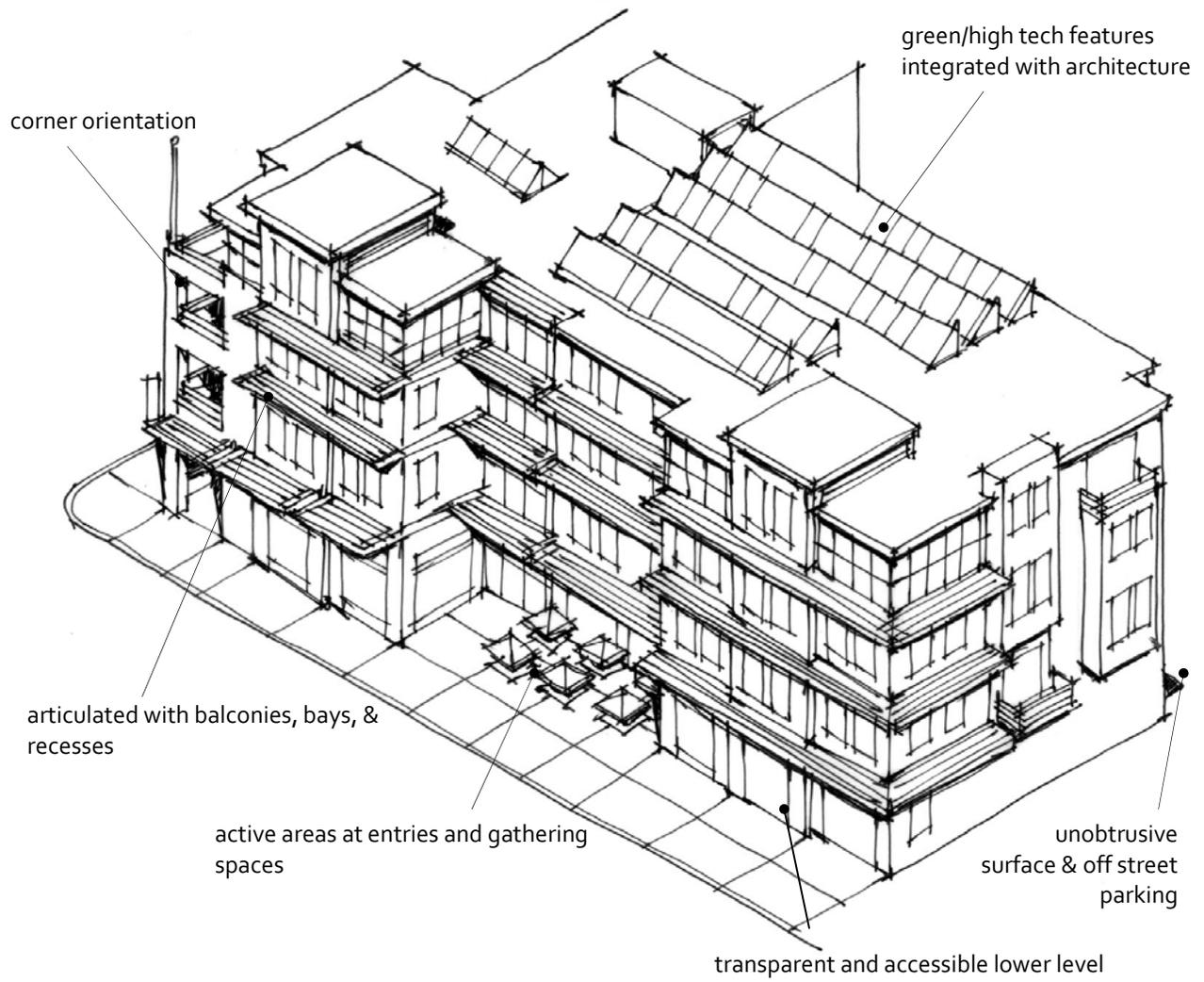
Figure 620-1: Building Design Concepts



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Figure 620-2: Building Design Concepts



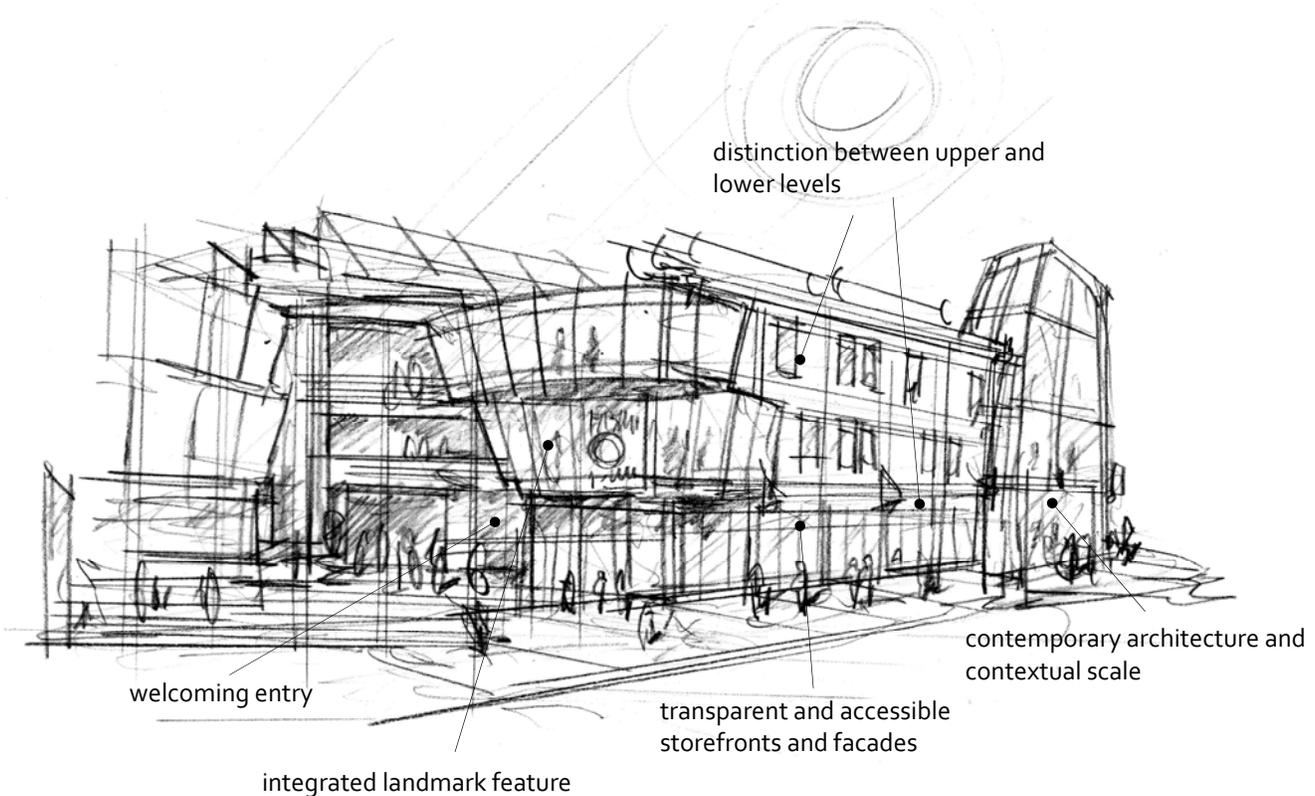
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Figure 620-3: Building Design Concepts



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351 **Sec. 630: Building Design Terminology**

352 In addition to the information provided in this section, the following books may be used as references for
353 more specific details regarding the design concepts and terms used in the Rifle Municipal Code.

354 *The Buildings of Main Street: A Guide to American Commercial Architecture*

355 Author: Richard Longstreth

356 Publisher: Rowman & Littlefield Publishers, Inc

357 Year: 2000

358

359 *A Field Guide to American Houses*

360 Authors: Virginia and Lee McAlester

361 Publisher: Alfred A. Knopf, Inc.

362 Year: 1984

363 (a) Architectural Style

364 (1) Bold, stylistic expression: Exaggerated form, proportions, details, or color of any style.

365 (2) Contemporary folk styles: Styles such as Quonset Huts, A-Frames, Geodesic Domes, etc.

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(3) Franchise architecture: A building design that is trademarked, branded, or easily identified with a particular chain or corporation.



Photo example of franchise architecture

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(4) High-priority preservation site: Site/building identified as a High-Priority Preservation Site in the 2008 Rifle Downtown Master Plan.

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(5) High tech/green: An architectural style that incorporates elements of high-tech industry and technology into building design. Buildings typically reveal their structure on the outside as well as the inside. Visual emphasis is often placed on the internal skeletal structure as opposed to exterior walls.

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387

(6) Historic building: Building constructed prior to 1940 in which most of the original exterior elements remain intact or can be restored/recovered through the removal of materials added after 1940.

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(7) Historically common to downtown Rifle: Predominate styles used in downtown Rifle prior to 1940 including Italianate, Commercial Craftsman, Early Modern (1905-1930), Railroad Commercial, Folk Victorian, with some Richardsonian, Renaissance Classical, and Gothic influences.



Photo example of high tech/green architecture

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(8) Iconic, landmark, one-of-a-kind buildings: Structures that stand on their own as opposed to being a part of a cohesive series of similar and related structures and/or facades. These buildings are unique in size, design, and/or purpose and are intended to visually dominate the property and surrounding area.

406

(9) Modern, bold forms: Large, highly geometric and unadorned (e.g., International style, etc.).

407
408
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410

(10) Neighborhood vernacular: Buildings with a common scale, relationship to the street, and style or styles that developed as a result of being built during the same, limited period of time when certain architectural style/s were being used to address the needs of a particular lifestyle.

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413

(11) Neo styles: Styles that include “free interpretations” of historic styles by highly exaggerating the size or amount of a design element and/or change the traditional location or usage of a design element.

414 (12) Styles predominate in other regions not indicative to Western Colorado: Styles that are used
415 in and strongly associated with regions outside of Western Colorado and which traditionally
416 have not been used in Western Colorado (e.g., Cape Cod, Colonial styles, Georgian, Tudor,
417 Tidewater, etc.).

418 (13) Styles reflecting contemporary building technologies and materials: Styles that visually
419 express efficient structural systems (e.g., lightweight brackets, cable suspension), green
420 technologies (e.g., shading systems), and/or materials (e.g., high-tech metals and glazing) as
421 opposed to “formal expression” (e.g., bold form, rhythm of openings, historic references).

422 (14) Structural expressionism: A branch of modernist architecture in which the core structural
423 elements of buildings are shown on the outside.

424 (b) Façade & Articulation

425 (1) Articulated components: Architectural elements that are visually distinct from the primary
426 wall of a building’s façade that create edges, shadows, and/or distinct texture (e.g., cornices,
427 entries, horizontal bands, windows sills, frames and headers, etc.).

428 (2) Cornice: Any horizontal member, structural or nonstructural, of any building, projecting
429 outward from the exterior walls at the roof line, including eaves and other roof overhangs.

430 (3) Block face rhythm: The relatively consistent width of repeating street-facing building facades
431 and/or their major structural bays including elements such as window and door openings.

432 (4) Differentiating building bottoms, middles, and tops: Involves the use of openings, façade
433 materials, and detailing to distinguish between the street-level area where people interact
434 with a building (e.g., glass storefronts, storefront cornice, kickplate, base structural elements),
435 the top edge of the building where it visually meets the sky (e.g., cornice and roof), and the
436 area in between (e.g., wall plane with openings like windows and balconies).

437 (5) Harmonizing upper and lower floors rhythm: Involves the use of wall openings and/or
438 architectural elements in a harmonious pattern between floors, often achieved by creating a
439 façade structural grid, aligning vertical structural walls and columns from floor to floor,
440 and/or increasing the number and decreasing the size of openings within the grid on upper
441 floors.

442 (6) Overly complex geometry: Multiple or unusual angles and shapes that vary from traditional
443 roof slopes and building forms that use simple rectangular geometry.

444 (7) Unarticulated wall plane: The purpose of the unarticulated wall plane is to limit the size of
445 blank wall area in proportion to the building elevation and to ensure that various design
446 elements (such as windows, doors, recesses and projections, etc.) are collectively distributed
447 across the face of an elevation so that the building elevation appears to be balanced. The
448 standard for the allowable limits of unarticulated (blank) wall plane is expressed as a
449 percentage of the total wall surface area of the elevation.

450 The formula for calculating and measuring unarticulated wall plan is described in detail
451 below. The end result is a plane that is in the same proportion as the building elevation that
452 must touch or overlap one or more of the following design elements in order for the
453 standard to be met:

- 454 ♦ An articulated window frame, sill or lintel
- 455 ♦ A window pane or sash
- 456 ♦ A door or articulated door frame
- 457 ♦ Projection or recess deeper than 3 inches
- 458 ♦ An architectural band or column composed of material that is noticeably different than
- 459 the surrounding wall material that is at least 5 inches in height or width

- 460 ♦ A wall or projecting sign
- 461 ♦ An articulated cornice
- 462 ♦ A balcony railing
- 463 ♦ Another design element that is noticeably different than the surrounding wall material
- 464 that is at least 3 sq. ft. in size
- 465 or if smaller and used
- 466 repetitively, the combined
- 467 area of the element must
- 468 comprise at least 1% of the
- 469 area of the elevation.

If the plane does not touch or overlap one of the above elements, proposed elements (such as windows) may need to be shifted and/or other elements added to reduce the size of blank wall areas.

Unarticulated wall plane area is calculated and applied as follows:

- 477 a. Measure the width of the building side in flat elevation (Width A).
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- 483 b. Calculate the area of the building wall area in flat elevation (Area C). Measure to the top of the parapet (flat roofs) or top of the fascia board (sloped roofs). Include portions of the following that extend above the fascia or top of the parapet only if their width exceeds 50% of Width A: turrets, cupolas, stair/elevator towers, antenna, solar panels, wind turbines, mechanical equipment and equipment screening, and similar elements.
- 484
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- 490 c. Determine the average building height (Height B) by dividing Area C by Width A.
- 491 *Example:* An elevation that is 50 feet wide (Width A) and has total area of 1,500 sq. ft. (Area C) has an average building height of 30 feet (Height B),
- 492 $C/A = B$
- 493 $1,500/50 = 30$
- 494
- 495
- 496 d. Determine the maximum percentage of unarticulated wall plane as listed in the “Façade and Articulation” building design standards for the applicable sub-district. Take the square root of the listed percentage and multiply it by Width A and Height B to determine Width D and Height E of Plane F. Round all numbers to the nearest hundredth.
- 497
- 498
- 499
- 500

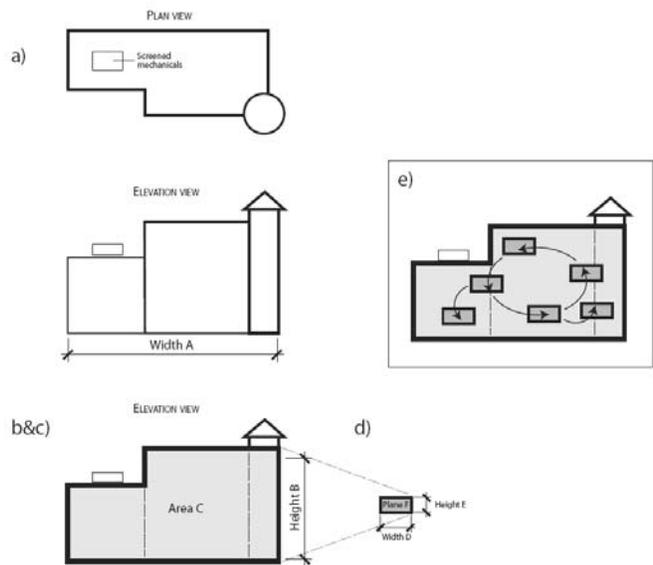
Example: Using a maximum unarticulated wall plane of 15% for a building elevation that has of width of 50 feet and an average height of 30 feet results in a plane (Plane F) that is 19 feet wide (Width D) and 12 feet high (Height E)

Square root of 0.15 = 0.387

0.387×50 (Width A) = 19.35 feet (Width D)

0.387×30 (Height B) = 11.61 feet (Height E)

Figure 730: Unarticulated Wall Plane Formula



- 507 19.35 (Width D) x 11.61 (Height E) = 224.65 sq. ft. (Plane F)
- 508 e. Place Plane F over the building wall elevation keeping the width and height of the
509 plane parallel with the width and height of the building elevation. Slide Plane F
510 horizontally and vertically across all portions of the elevation wall. To meet the
511 unarticulated wall plane standard it must continually touch or overlap one or more
512 the design elements listed above.
513
- 514 (c) Public Entries
- 515 (1) Main entry on primary façade: See Figure 620-1
- 516 (2) Recessed and/or covered entries: See Figure 620-1
- 517 (d) Fenestration & Transparency
- 518 (1) Divided glass: See Figure 620-1
- 519 (2) Horizontal banded windows: See Figure 620-1
- 520 (3) Jalousie windows: Windows that consist of parallel glass, acrylic, or wooden louvers set in a
521 frame. The louvers are locked together on a track so they can be tilted open and shut in
522 unison. These windows also are sometimes called louver windows, slated windors, and glass
523 crankout windows.
- 524 (4) Storefronts: The entire assembly of large display windows with kick plates, transoms, doors,
525 and sidelights.
- 526 (5) Transom: A fixed window located over a door or other window.
- 527 (6) Transparency: Able to easily see the inside of a building from the outside (under non-
528 reflective daylight conditions) with minimal loss of light and detail and minimal alteration of
529 colors.
- 530 (e) Materials, Detailing, and Colors
- 531 (1) Awnings and canopies: : Roof-like covers, often made of fabric, metal, or glass, designed and
532 intended for protection from the weather and/or as a decorative embellishment, and which
533 projects from a wall or roof of a structure over a window, walk, or door.
- 534 (f) Roofs/Building Tops
- 535 (1) Primary building area: The area of a building within the largest or most prominent building
536 mass (as seen from the primary street). Multiple areas that are equal or nearly equal in size
537 and prominence are all considered to be primary building areas.
- 538 (2) Scupper: An opening in the wall of a building through which water can drain from a floor or
539 flat roof.
- 540 (g) Signage
- 541 (1) Building marker/name and/or address integrated into front façade: Custom architectural
542 element (e.g., stained glass in a transom, carved stone or masonry unit wall inset, punched
543 metal panel in a façade's metal framework, etc.) that communicates a name and/or number
544 that is integral with the surrounding architectural elements and façade.
- 545 (h) Sustainability
- 546 (1) Building-mounted wind turbines: See Section 16-1-220 of the Code.
- 547 (2) Green roof: See definition under Section 16-1-220 of the Code.