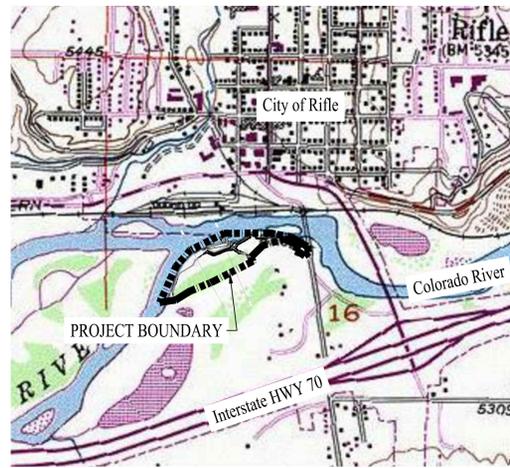


Rifle Boat Ramp - Site Plan

Rifle, Colorado



Vicinity Map

scale: 1"=1000'

- GENERAL CONSTRUCTION NOTES:**
- 1) ALL IMPROVEMENTS TO BE IN ACCORDANCE WITH LATEST EDITION OF THE CITY OF RIFLE PUBLIC WORKS MANUAL AND SPECIFICATIONS, AND CDOT M-STANDARDS OR AS APPROVED BY PROJECT ENGINEER.
 - 2) DRY UTILITY PLANS BY UTILITY PROVIDERS TO BE SUBMITTED TO THE CITY AND CDOT PRIOR TO CONSTRUCTION.
 - 3) CONTRACTOR TO OBTAIN APPROVAL FROM THE PUBLIC WORKS DEPARTMENT FOR STREET CLOSURE AND TRAFFIC DETOUR PLAN OR SIGNAGE. CONTRACTOR TO OBTAIN CITY APPROVAL ON ANY WATER OR UTILITY SYSTEM SHUT DOWN PERIODS AND SHALL NOTIFY THOSE PROPERTY OWNERS AFFECTED.
 - 4) ENGINEER TO BE PRESENT FOR ALL WATER AND SEWER SYSTEM TESTING. CONTRACTOR TO NOTIFY BOTH CITY AND PROJECT ENGINEER PRIOR TO TESTING.
 - 5) SURVEYOR TO FIELD MEASURE ALL IMPROVEMENTS FOR DEVELOPMENT OF "RECORD DRAWINGS"
 - 6) CONTRACTOR RESPONSIBLE FOR ALL LOCATES AND AVOIDANCE OF EXISTING UTILITIES.
 - 7) ALL ELBOWS, CAPS, REDUCERS, AND HYDRANTS TO HAVE REACTION BLOCKS PER DETAILS.
 - 8) ALL WATER LINE TAPS TO HAVE MINIMUM DISTANCE BETWEEN TAPS AND BETWEEN TAPS AND PIPE JOINTS DETERMINED BY MANUFACTURERS SPECIFICATIONS.
 - 9) ALL WATER MECHANICAL FITTINGS TO BE INSTALLED WITH MEGALUGS AND CONCRETE REACTION BLOCKS.
 - 10) OWNER TO OBTAIN GEOTECHNICAL ENGINEERING FIRM TO COMPLETE CONSTRUCTION OBSERVATION. FREQUENCY OF INSPECTION TO BE DETERMINED BY PROJECT ENGINEER AND IN ACCORDANCE WITH THE RIFLE PUBLIC WORKS MANUAL AND TESTING. AT A MINIMUM ALL OVERLOT GRADINGS SHOWN ON THESE DRAWINGS APPROXIMATE. LOT GRADING MAY BE FIELD ADJUSTED BY ENGINEER OR CONTRACTOR TO BALANCE CUT AND FILLS THROUGHOUT THE PROJECT. ALL LOT FILLS TO BE STRUCTURAL, PLACED AND TESTED TO MEET GEOTECHNICAL ENGINEERS SPECIFICATIONS.
 - 11) PAVING CONTRACTOR TO GRADE FINAL SUBGRADE SLOPE TO PROVIDE POSITIVE DRAINAGE ON ALL SURFACES. GRADING TO BE APPROVED BY PROJECT ENGINEER PRIOR TO PAVEMENT PLACEMENT.

- SITE GRADING NOTES**
1. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE CITY OF RIFLE'S PUBLIC WORKS MANUAL - LATEST EDITION.

2. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.

3. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.

4. TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR INSTALLATION WITHIN THREE MONTHS. VEGETATION SHALL BE A VIGOROUS, DROUGHT TOLERANT, NATIVE SPECIES MIX. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION, BUT SEEDED AREAS SHALL BE IRRIGATED, IF CONDITIONS SO MERIT.

5. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION AND DUST. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.

6. TEMPORARY CUT/FILL SLOPES SHALL NOT EXCEED A STEEPNESS OF 2:1 (2H:1V).

7. PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION MUST BE APPLIED TO DISTURBED AREAS AND STOCKPILES AS SOON AS POSSIBLE BUT NO LATER THAN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL SURFACE STABILIZATION SHOULD BE NO LATER THAN 14 DAYS AFTER EXPOSED TO DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR A PERIOD THAT DOES NOT EXCEED 60 DAYS.

8. THE OWNER/DEVELOPER SHALL PROVIDE ANY ADDITIONAL DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY, SHOULD CONDITIONS MERIT THEM.

9. TEMPORARY FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS OR PROPERTY LINES AS SHOWN ON THE APPROVED EROSION CONTROL PLAN, TO PREVENT GRADING ON PROPERTY NOT OWNED BY THE DEVELOPER. IN ADDITION, THE CITY MAY REQUIRE ADDITIONAL TEMPORARY FENCES IF FIELD CONDITIONS SO MERIT THEM.

10. ALL TEMPORARY AND PERMANENT EROSION CONTROL AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED BY THE OWNER DURING THE CONSTRUCTION PHASE AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL FACILITIES MUST BE INSPECTED A MINIMUM OF EVERY TWO WEEKS AND FOLLOWING EACH PRECIPITATION OR SNOWMELT EVENT THAT RESULTS IN RUNOFF.

11. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED, OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, WHICHEVER OCCURS EARLIEST, OR AS AUTHORIZED BY THE CITY OF RIFLE.

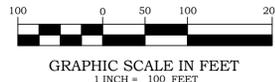
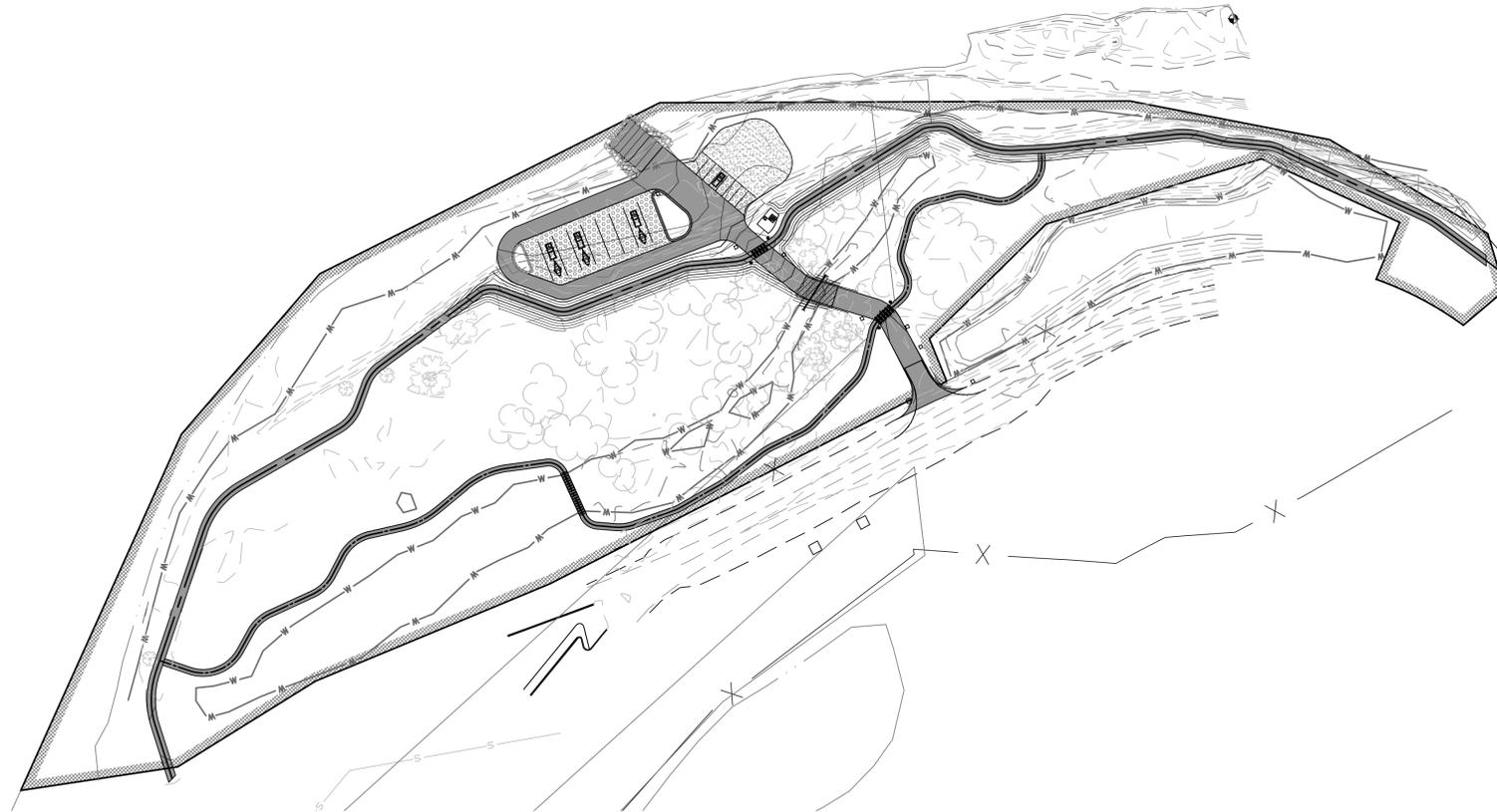
12. SURFACE ROUGHENING SHALL BE PERFORMED AFTER FINAL GRADE TO CREATE DEPRESSIONS TWO(2) TO FOUR (4) INCHES DEEP AND FOUR (4) TO SIX (6) INCHES APART RUNNING PERPENDICULAR TO THE SLOPE.

13. ALL DISTURBED AREAS MUST BE PROPERLY MULCHED, OR SEEDED AND MULCHED, WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE NOT OTHERWISE PERMANENTLY STABILIZED. PROPER MULCHING SHOULD INCLUDE A TACKIFIER TO BIND THE MULCH.

14. TEMPORARY REVEGETATION IS REQUIRED ON ALL DISTURBED AREAS HAVING A PRIOR PERIOD OF EXPOSURE OF ONE (1) TO TWO (2) YEARS BEFORE THE FINAL STABILIZATION TAKES PLACE. ALL TEMPORARY SEEDING SHALL BE PROPERLY MULCHED.

15. ROAD CUTS, ROAD FILLS AND PARKING AREAS SHOULD BE COVERED AS EARLY AS POSSIBLE WITH THE APPROPRIATE AGGREGATE BASE COURSE. THIS IS NOT REQUIRED WHEN FINAL CONSTRUCTION OF THE ROADS WILL TAKE PLACE WITHIN 30 DAYS OF REACHING FINAL SUBGRADE LEVEL.

16. SEED AND MULCH SOIL STOCKPILES EXPECTED TO BE IN PLACE LONGER THAN 60 DAYS WITHIN 14 DAYS AFTER COMPLETION OF STOCKPILE ESTABLISHMENT. MULCH IS ACCEPTABLE ONLY IF STOCKPILE IS EXPECTED TO BE IN PLACE LESS THAN 60 DAYS BUT MORE THAN 30 DAYS.



SHT#	TITLE
1	COVER
2	EXISTING CONDITIONS
3	AERIAL PHOTO
4	PROJECT OVERVIEW & SWMP
5	ENTRANCE ROAD PLAN & PROFILE
6	PARKING LOT GRADING PLAN
7	SITE CROSS SECTION PLAN & PROFILE
8	RIVER TRAIL STA: 0+00 TO 10+25 PLAN & PROFILE
9	RIVER TRAIL STA: 10+25 TO 20+44 PLAN & PROFILE
10	LOOPED TRAIL PLAN & PROFILE
11	RIVER TRAIL CROSS SECTIONS
12	DETAILS
13	BOAT RAMP DETAILS

UNCC
CALL BEFORE YOU DIG
1-800-922-1987
Utility Notification
Center of Colorado
Administrative Office: 303-228-1991
12000 W. Colfax Ave., Suite 8130
Lafayette, CO 80026
BEFORE YOU DIG, GRADE, OR EXCAVATE, CALL 2-BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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No.	Description	By	Date	Approved	Date	By	Date
1	Intersection and one way signage added	EB	2-12-14	CM	2-12-14	EB	3-12
						Checked	CM 1-6-14
						Approved	CM 1-6-14
						Client Approved	



PO Box 1301
Rifle, CO 81650
Tel 970-625-4933
Fax 970-625-4564

CLIENT VIF Advisory Board	SHEET TITLE Cover Sheet	SHEET NO. 1
PROJECT Rifle Boat Ramp	FILE M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg	Revision

Owner:



CITY OF RIFLE
VIF ADVISORY BOARD
202 RAILROAD AVE
RIFLE, COLORADO 81650
PHONE: 970-665-6499

Engineer:



136 East 3rd Street
P.O. Box 1301
Rifle, Colorado 81650
Phone: 970-625-4933
Fax: 970-625-4564
Project Engineer:
Chris Manera P.E. #30579

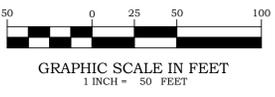
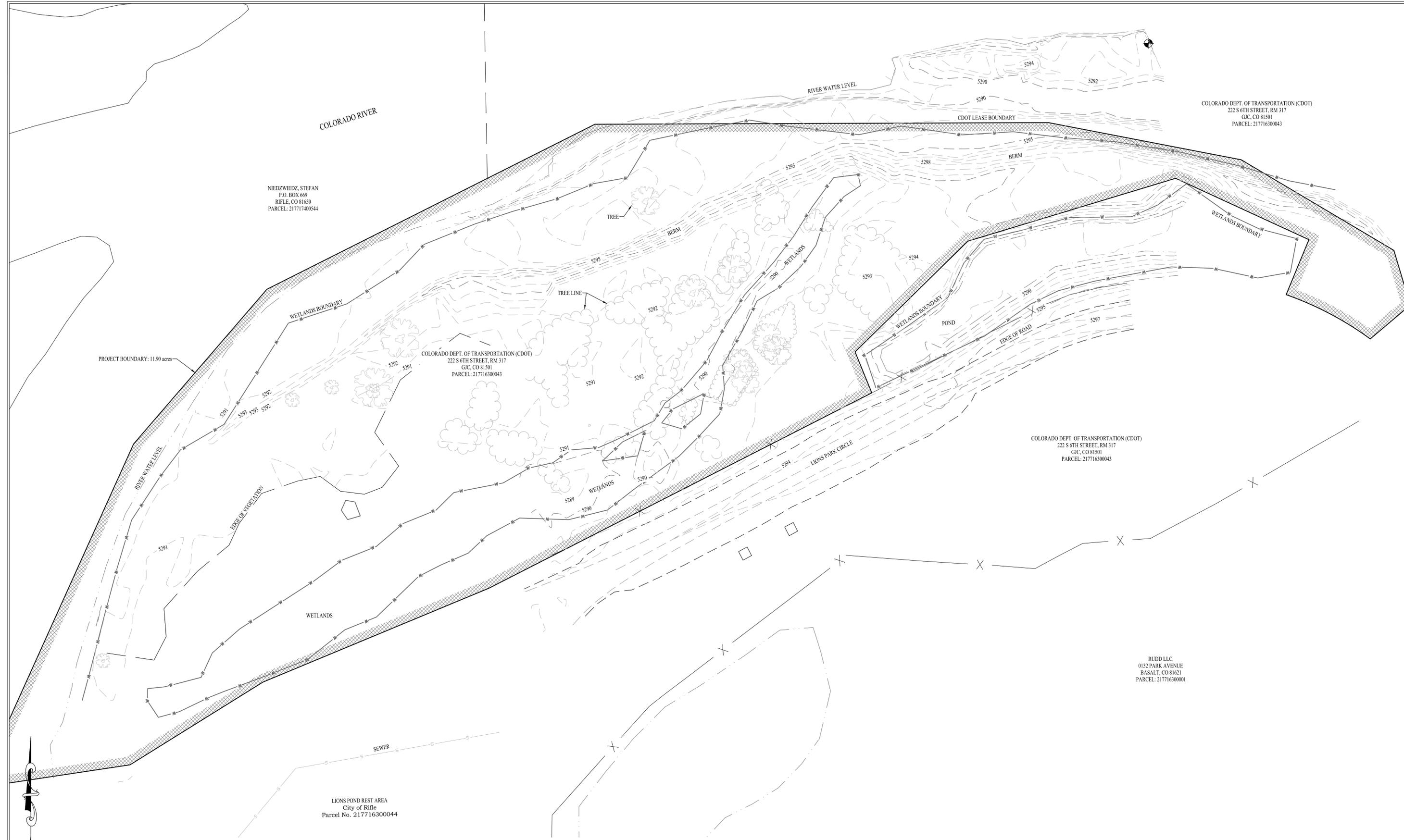
Surveyors:



Bookcliff Survey Services, INC.
136 East 3rd Street
Rifle, Colorado 81650
Phone: 970-625-1330
Fax: 970-625-2773

7/2/15

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NOTE:
 EXISTING CONDITIONS PROVIDED BY BOOKCLIFF SURVEY SERVICES, INC.

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No.	Description	By	Date	Approved	Date	By	Date
1	Intersection and one way signage added	EB	2-12-14	CM	2-12-14	EB	3-12
						CM	1-6-14
						CM	1-6-14



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CLIENT
VIF Advisory Board

PROJECT
Rifle Boat Ramp

SHEET TITLE
Existing Conditions

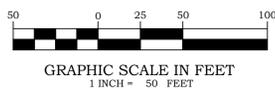
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SHEET NO.
2

Revision

7/2/15

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No.	Description	By	Date	Approved	Date	By	Date
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▲						Checked	CM 1-6-14
▲						Approved	CM 1-6-14
▲						Client Approved	



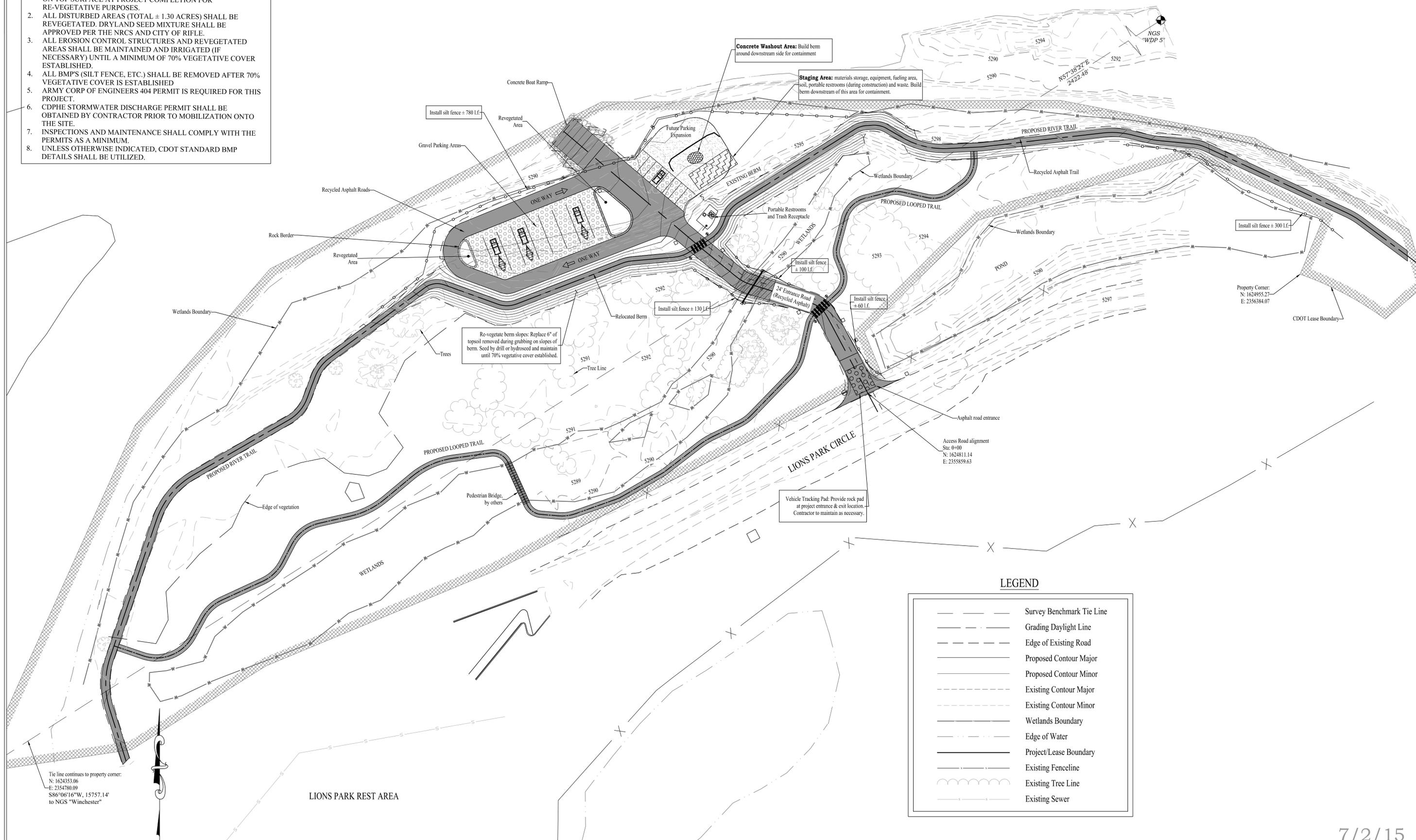
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CLIENT	VIF Advisory Board	SHEET TITLE	Aerial Photo	SHEET NO.	3
PROJECT	Rifle Boat Ramp	FILE	M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg	Revision	▲

7/2/15

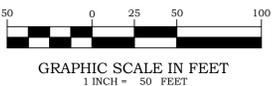
STORM WATER MANAGEMENT PLAN (SWMP) NOTES:

1. ALL TOPSOIL TO BE STRIPPED, STOCKPILED, AND REPLACED ON TOP SURFACE AT PROJECT COMPLETION FOR RE-VEGETATIVE PURPOSES.
2. ALL DISTURBED AREAS (TOTAL ± 1.30 ACRES) SHALL BE REVEGETATED. DRYLAND SEED MIXTURE SHALL BE APPROVED PER THE NRCS AND CITY OF RIFLE.
3. ALL EROSION CONTROL STRUCTURES AND REVEGETATED AREAS SHALL BE MAINTAINED AND IRRIGATED (IF NECESSARY) UNTIL A MINIMUM OF 70% VEGETATIVE COVER ESTABLISHED.
4. ALL BMP'S (SILT FENCE, ETC.) SHALL BE REMOVED AFTER 70% VEGETATIVE COVER IS ESTABLISHED
5. ARMY CORP OF ENGINEERS 404 PERMIT IS REQUIRED FOR THIS PROJECT.
6. CDPHE STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED BY CONTRACTOR PRIOR TO MOBILIZATION ONTO THE SITE.
7. INSPECTIONS AND MAINTENANCE SHALL COMPLY WITH THE PERMITS AS A MINIMUM.
8. UNLESS OTHERWISE INDICATED, CDOT STANDARD BMP DETAILS SHALL BE UTILIZED.



LEGEND

	Survey Benchmark Tie Line
	Grading Daylight Line
	Edge of Existing Road
	Proposed Contour Major
	Proposed Contour Minor
	Existing Contour Major
	Existing Contour Minor
	Wetlands Boundary
	Edge of Water
	Project/Lease Boundary
	Existing Fenceline
	Existing Tree Line
	Existing Sewer



LIONS PARK REST AREA

Tie line continues to property corner:
N: 1624353.06
E: 2354780.09
S86°06'16"W, 15757.14'
to NGS "Winchester"

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						CM	1-6-14
						CM	1-6-14



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VIF Advisory Board

PROJECT
Rifle Boat Ramp

SHEET TITLE
Project Overview & SWMP

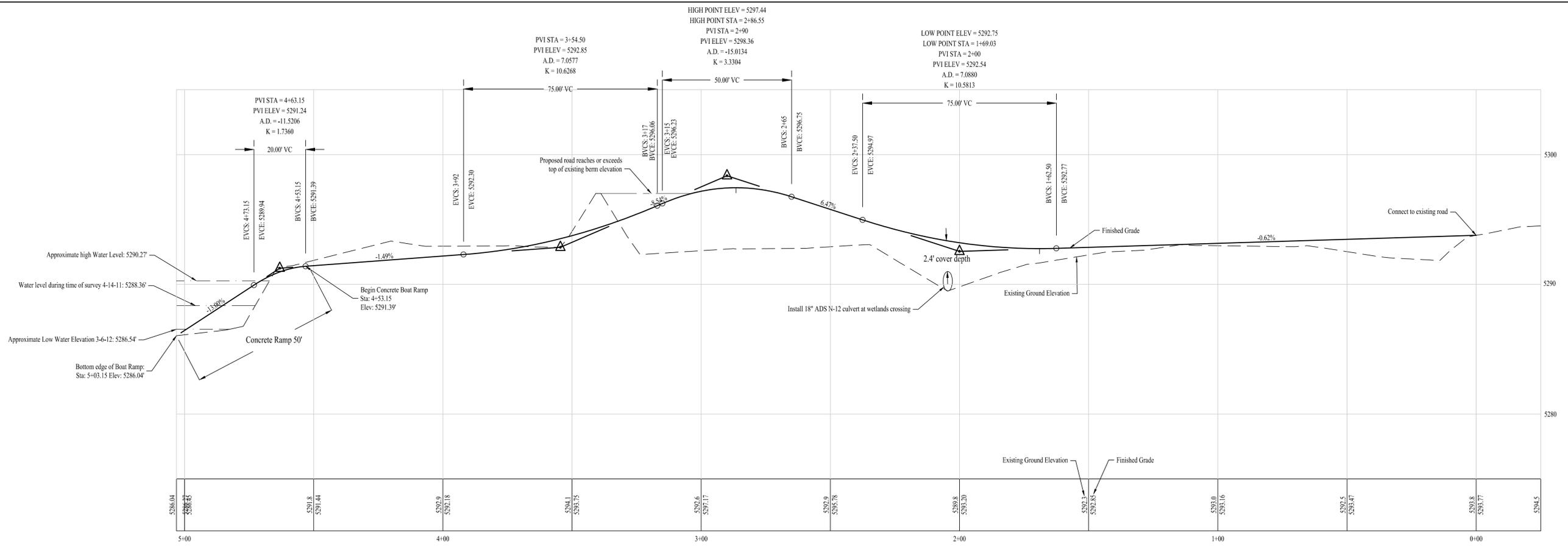
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SHEET NO.
4

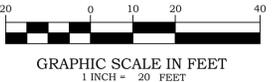
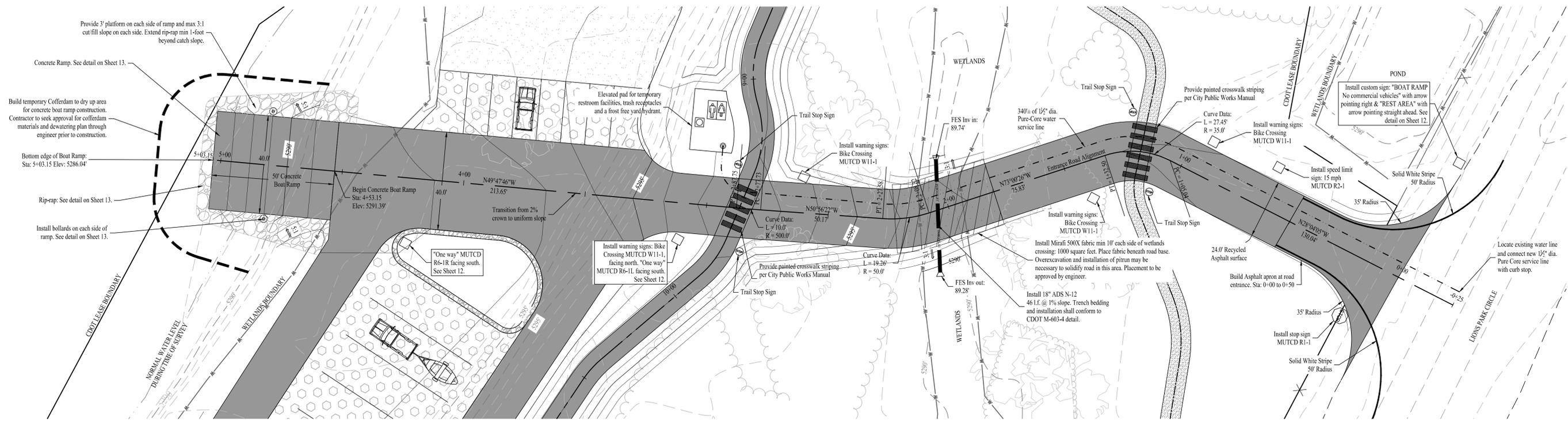
Revision

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ENTRANCE ROAD PROFILE



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No.	Description	By	Date	Approved	Date	By	Date
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						Checked	CM 1-6-14
						Approved	CM 1-6-14
						Client Approved	

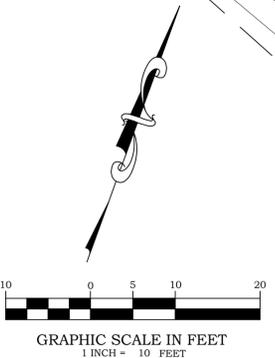
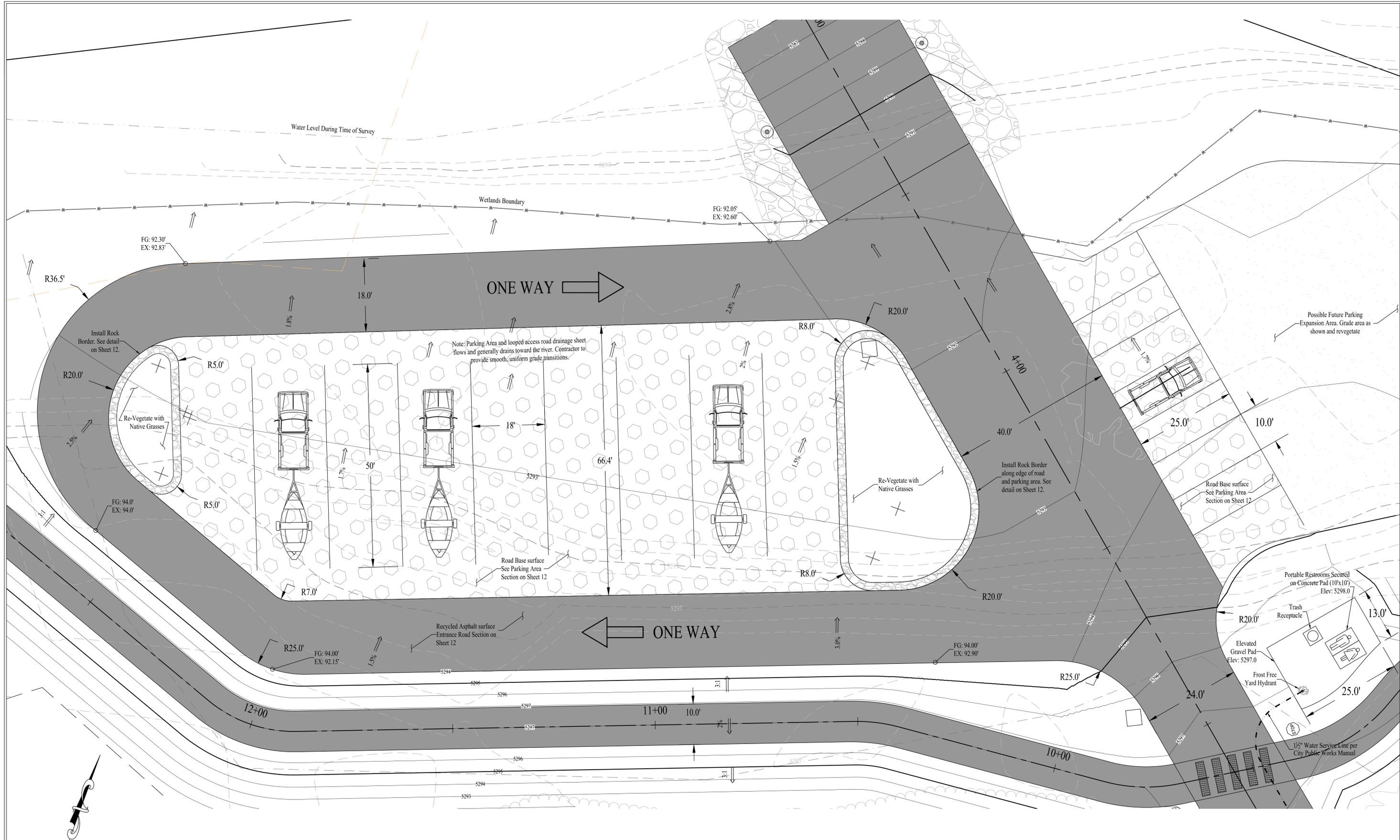


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CLIENT	VIF Advisory Board
PROJECT	Rifle Boat Ramp

SHEET TITLE	Entrance Road Plan & Profile
FILE	M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg

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5
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CLIENT
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PROJECT
Rifle Boat Ramp

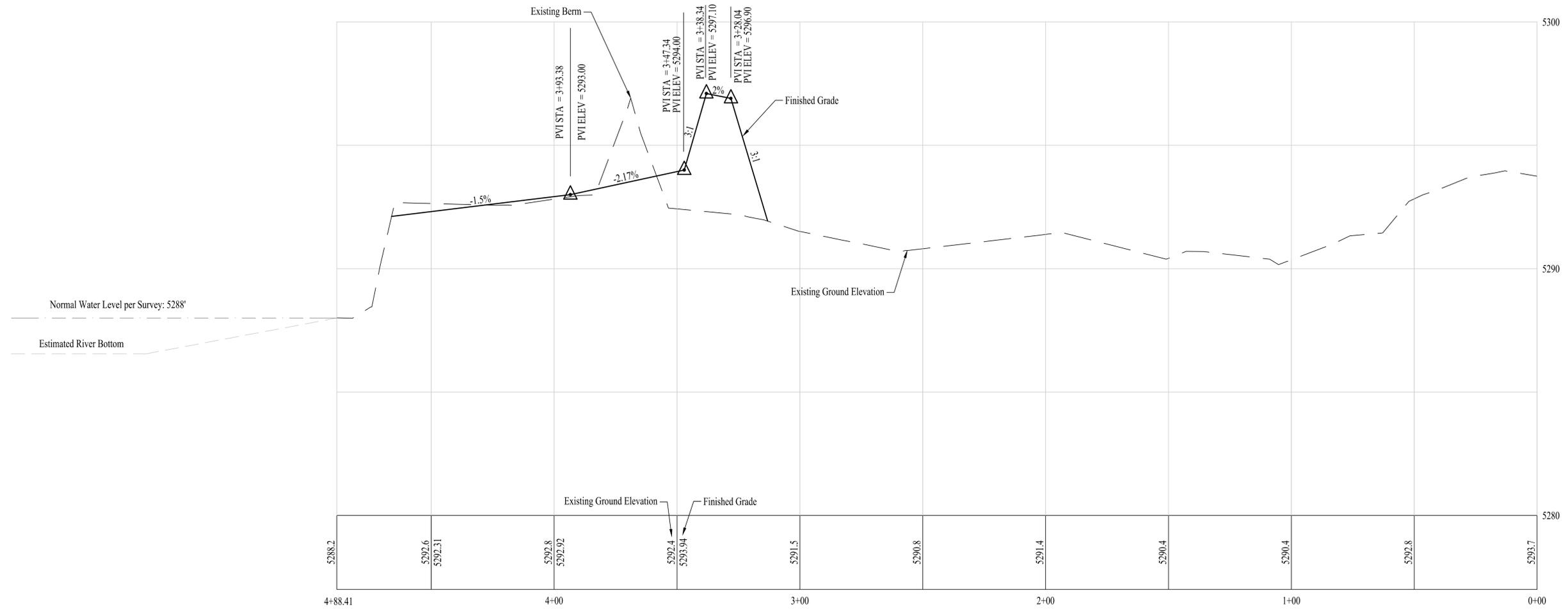
SHEET TITLE
Parking Lot Grading Plan

FILE
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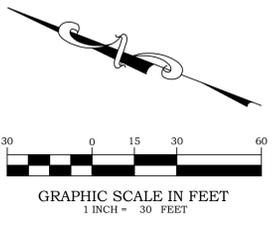
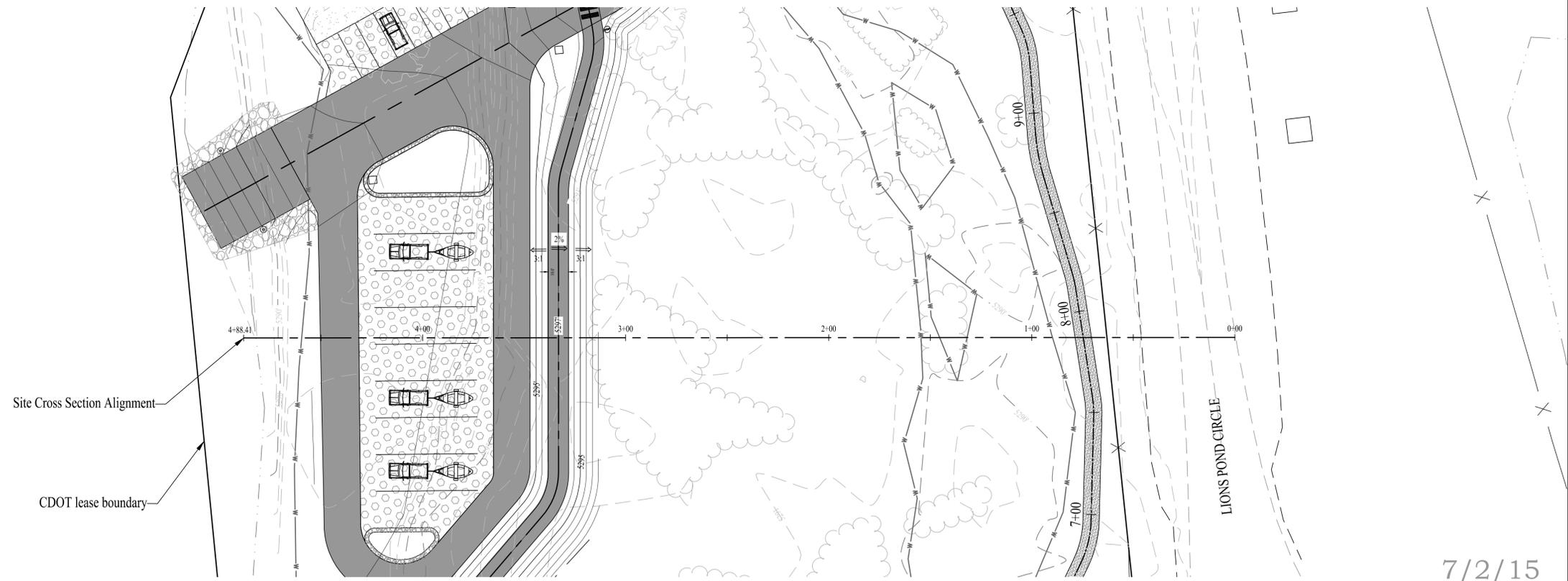
SHEET NO.
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Revision

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SITE CROSS SECTION PROFILE



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PROJECT
Rifle Boat Ramp

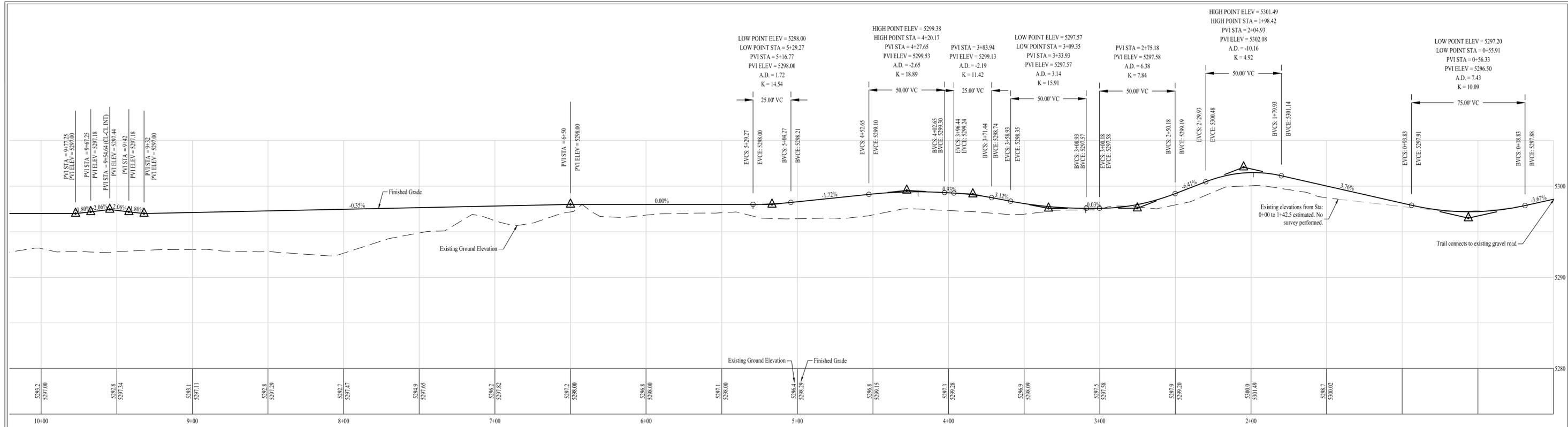
SHEET TITLE
Site Cross Section Plan & Profile

FILE
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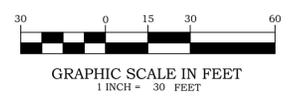
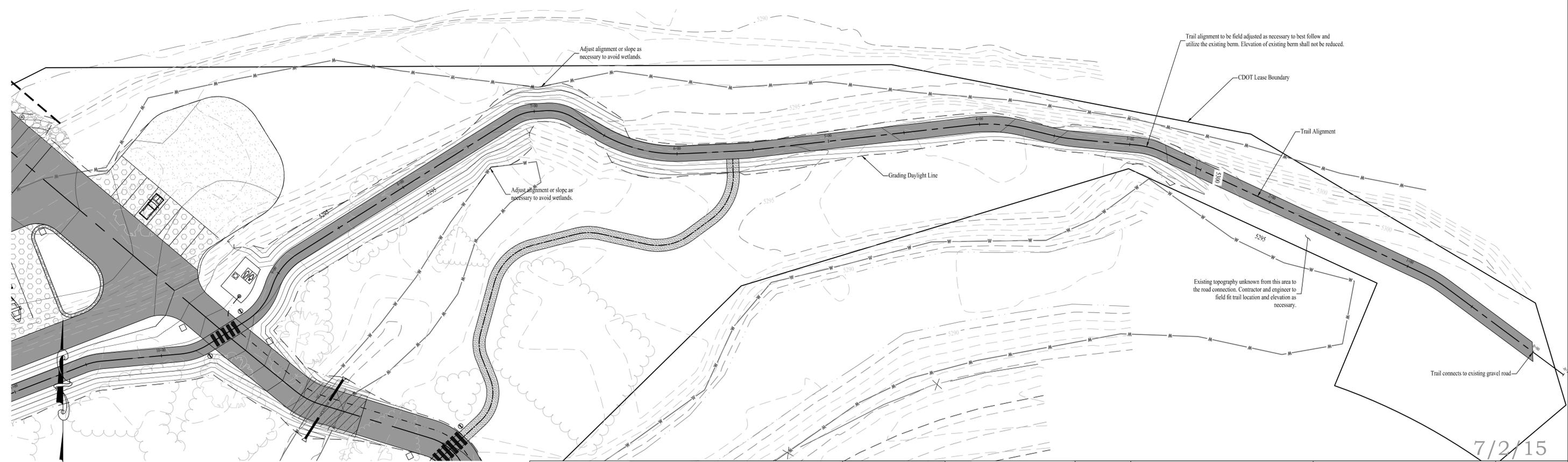
SHEET NO.
7

Revision

7/2/15



RIVER TRAIL PROFILE
Sta: 0+00 to 10+25



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No.	Description	By	Date	Approved	Date	By	Date
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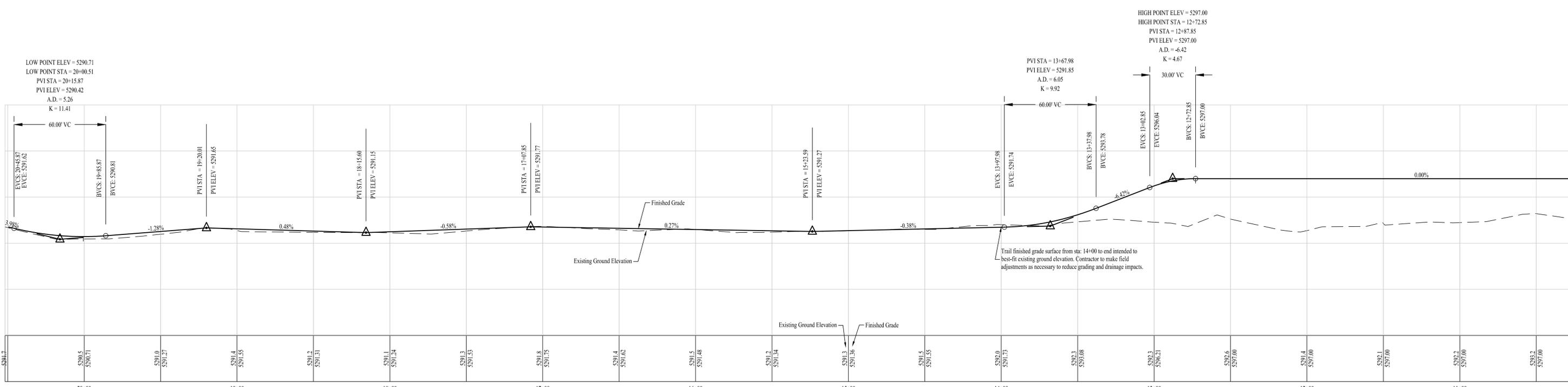
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CLIENT: **VIF Advisory Board**
PROJECT: **Rifle Boat Ramp**

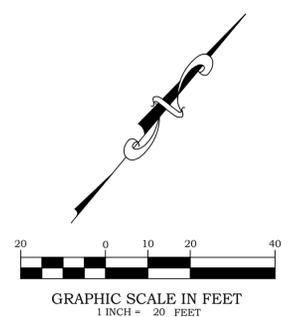
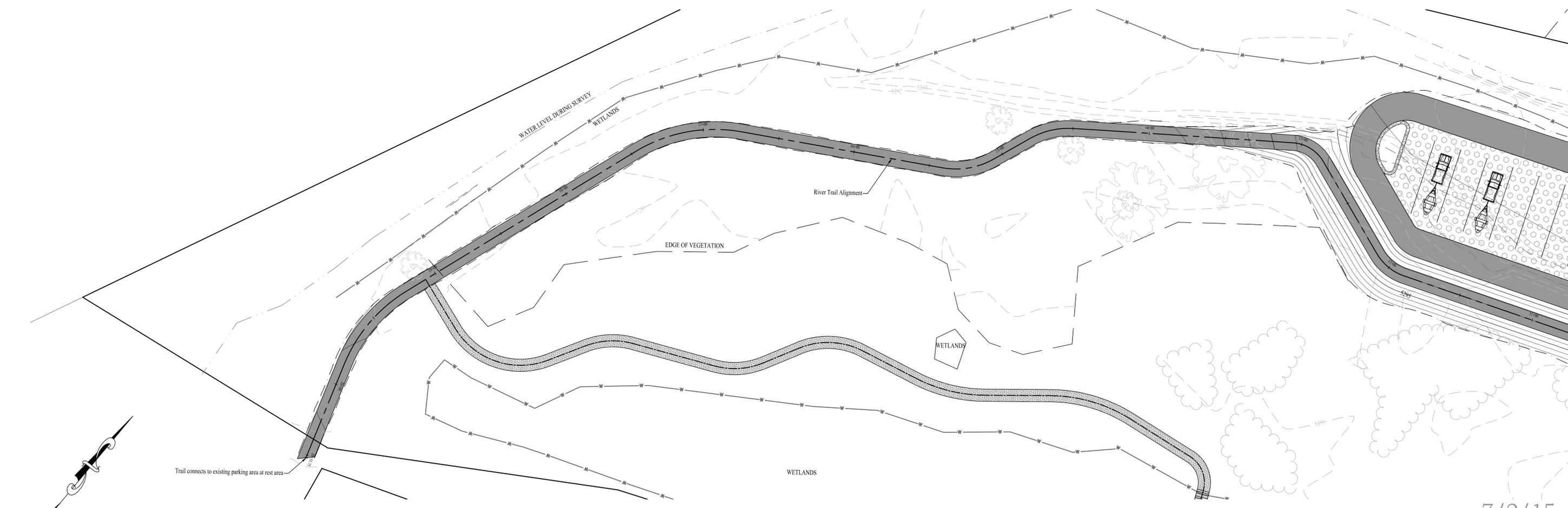
SHEET TITLE: **River Trail Sta: 0+00 to 10+25 Plan & Profile**
FILE: M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg

SHEET NO.: **8**
Revision

7/2/15



RIVER TRAIL PROFILE
STA: 10+25 TO END



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No.	Description	By	Date	Approved	Date	By	Date
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						Checked	CM 1-6-14
						Approved	CM 1-6-14
						Client Approved	



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CLIENT
VIF Advisory Board

PROJECT
Rifle Boat Ramp

SHEET TITLE
**River Trail
Sta: 10+25 to 20+44
Plan & Profile**

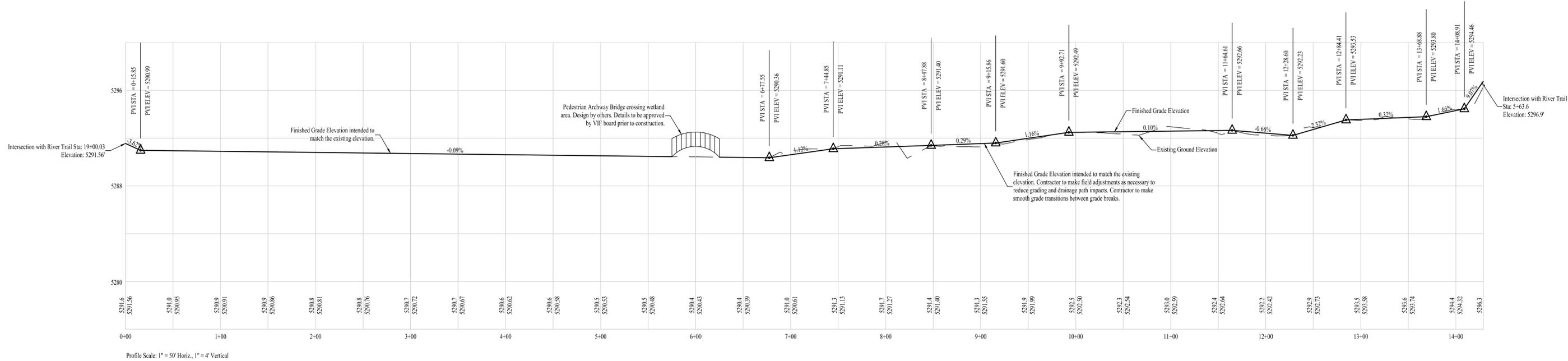
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SHEET NO.
9

Revision

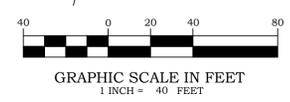
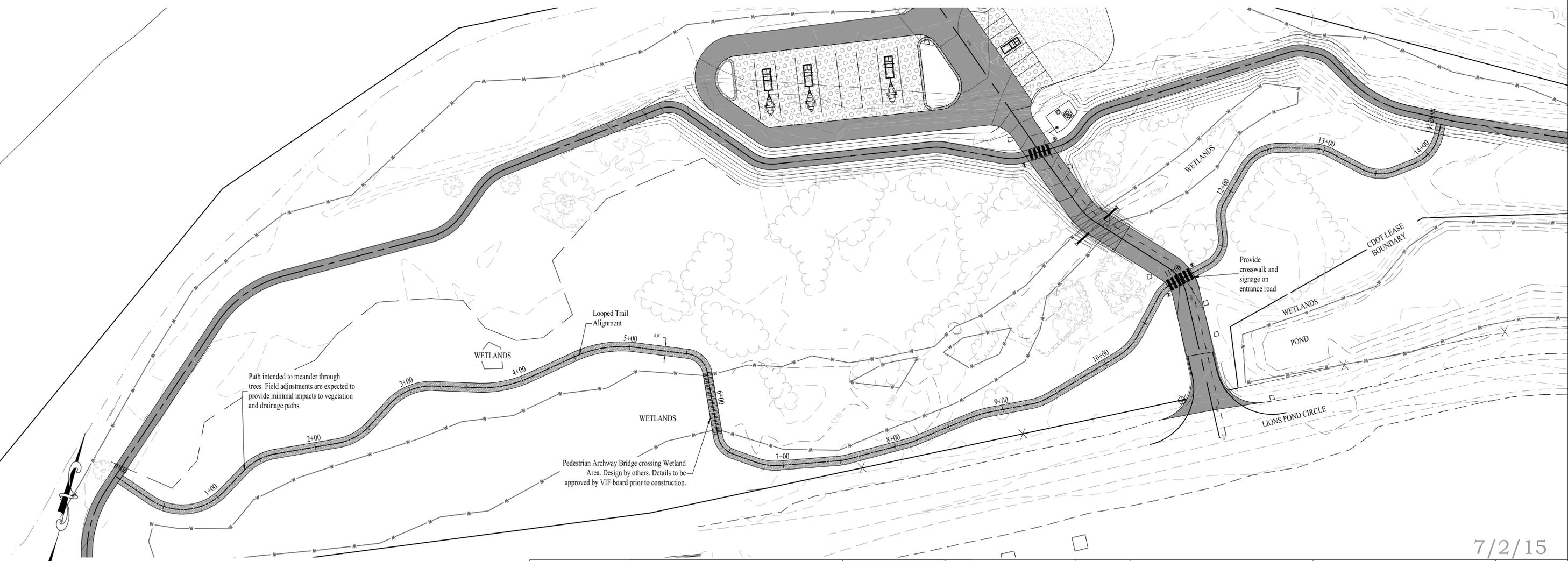
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Profile Scale: 1" = 50' Horiz., 1" = 4' Vertical

LOOPED TRAIL PROFILE



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No.	Description	By	Date	Approved	Date	By	Date
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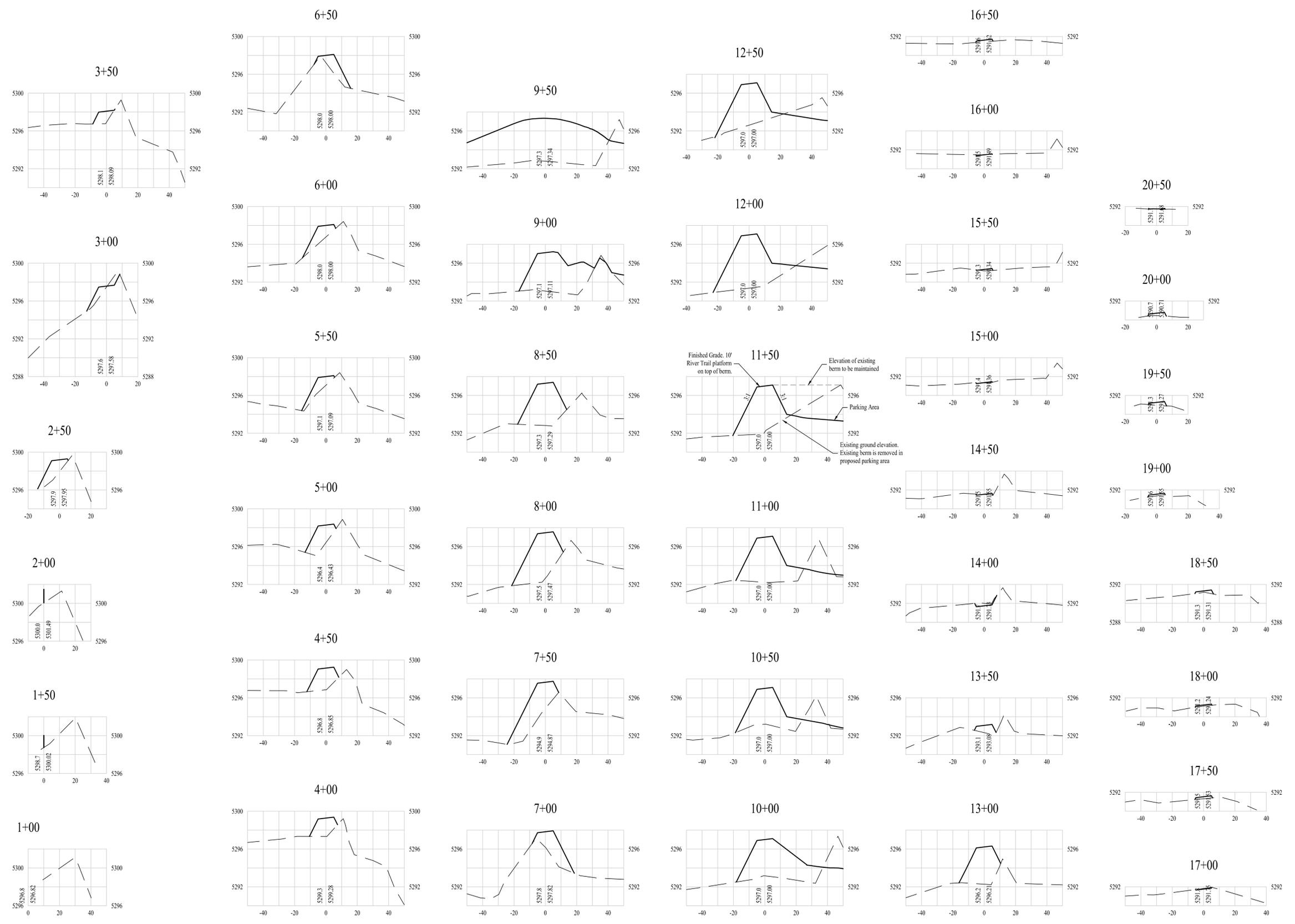
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CLIENT: **VIF Advisory Board**
PROJECT: Rifle Boat Ramp

SHEET TITLE: **Looped Trail Plan & Profile**
FILE: M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg

SHEET NO.: **10**
Revision

7/2/15



7/2/15

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No.	Description	By	Date	Approved	Date	By	Date
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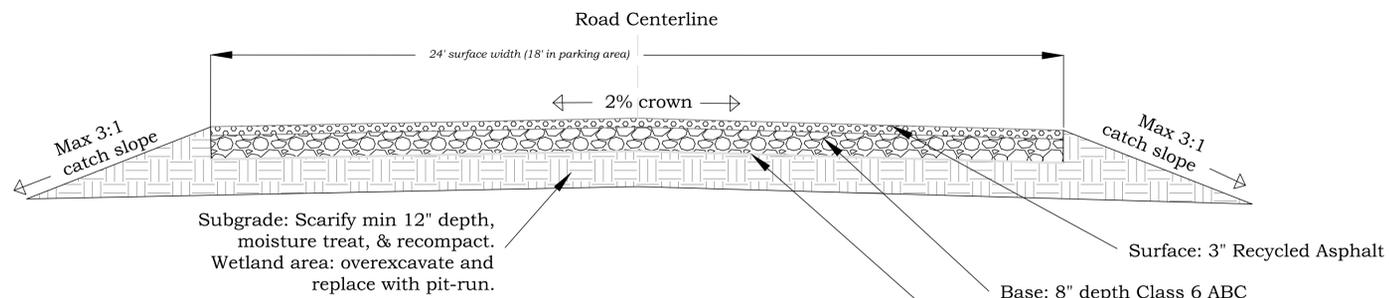
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CLIENT	VIF Advisory Board
PROJECT	Rifle Boat Ramp

SHEET TITLE	River Trail Cross Sections
FILE	M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg

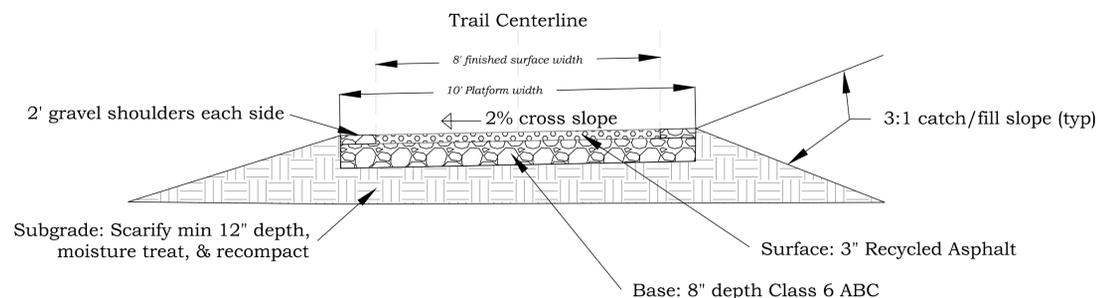
SHEET NO.
11
Revision

These drawings have been prepared for the client identified on the design sheet title block. Unless these drawings bear a signed engineer's seal, they may be used only as a reference only.



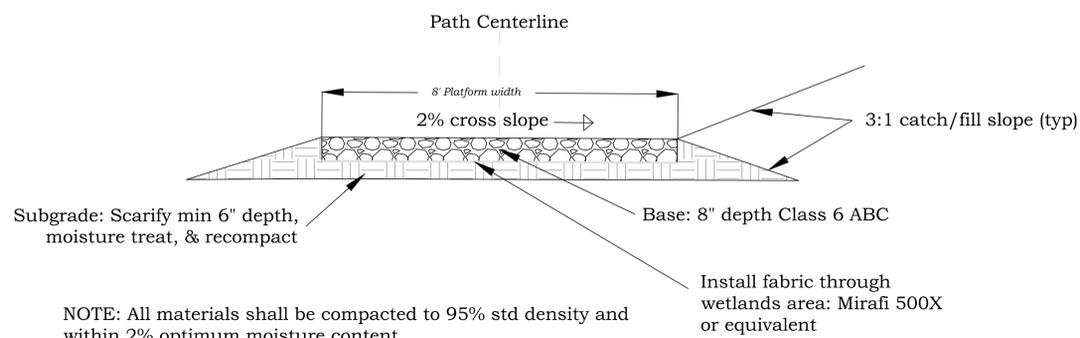
NOTE: All materials shall be compacted to 95% std density and within 2% optimum moisture content.

Entrance Road Section
(not to scale)



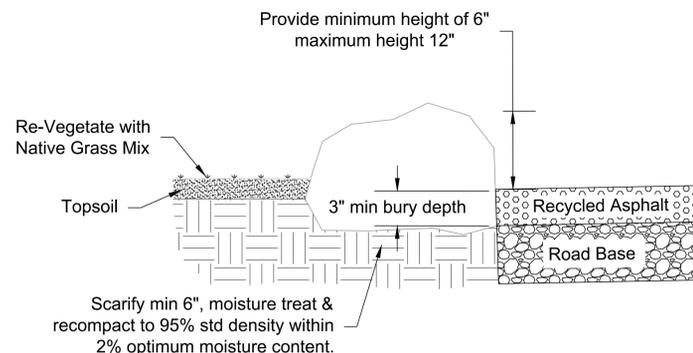
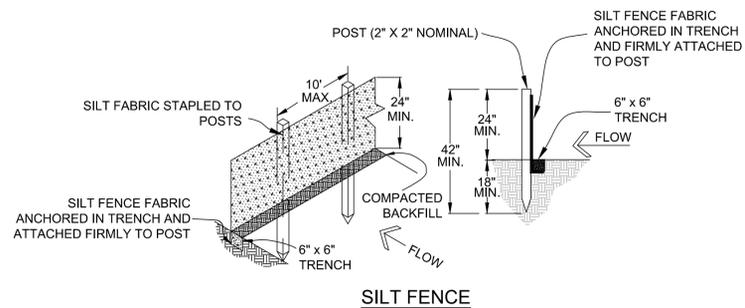
NOTE: All materials shall be compacted to 95% std density and within 2% optimum moisture content.

LOVA Trail Section
(not to scale)

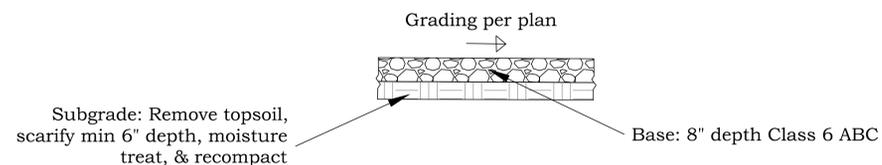


NOTE: All materials shall be compacted to 95% std density and within 2% optimum moisture content.

Scenic Path Section
(not to scale)

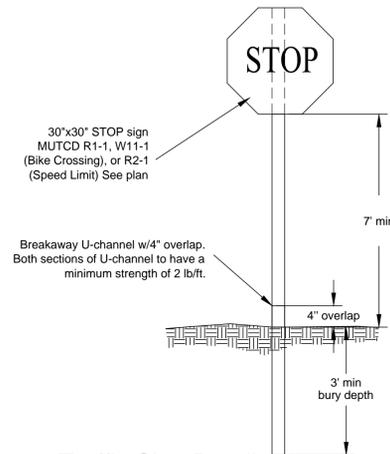


ROCK BORDER DETAIL
(NOT TO SCALE)



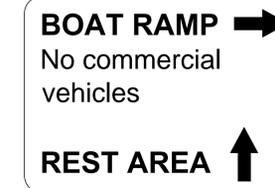
NOTE: All materials shall be compacted to 95% std density and within 2% optimum moisture content.

Parking Area Section
(not to scale)



Traffic Sign Detail
(NOT TO SCALE)

Dimensions, materials, and installation may be adjusted from that shown herein as long as they meet design guidelines of the MUTCD & CDOT



Custom Sign Detail
(NOT TO SCALE)



One Way Sign at Parking Area Entrance
(NOT TO SCALE)



R6-1R

One Way Sign at Parking Area Exit
(NOT TO SCALE)

- NOTE:
1. Class 6 ABC can be replaced with suitable onsite material with prior approval by the Engineer of Record.
 2. MUTCD Standards (2009 Edition) shall be used for all project signage.

This Drawing Not Valid Unless Latest Revision Initials Are Handwritten					Original Drawing Preparation		
No.	Description	By	Date	Approved	Date	By	Date
1	Intersection and one way signage added	EB	2-12-14	CM	2-12-14	EB	3-12
						CM	1-6-14
						CM	1-6-14



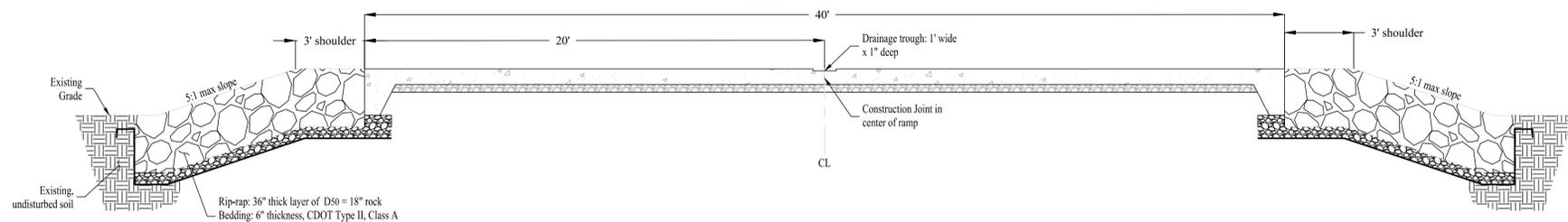
PO Box 1301
Rifle, CO 81650
Tel 970-625-4933
Fax 970-625-4564

CLIENT	VIF Advisory Board
PROJECT	Rifle Boat Ramp

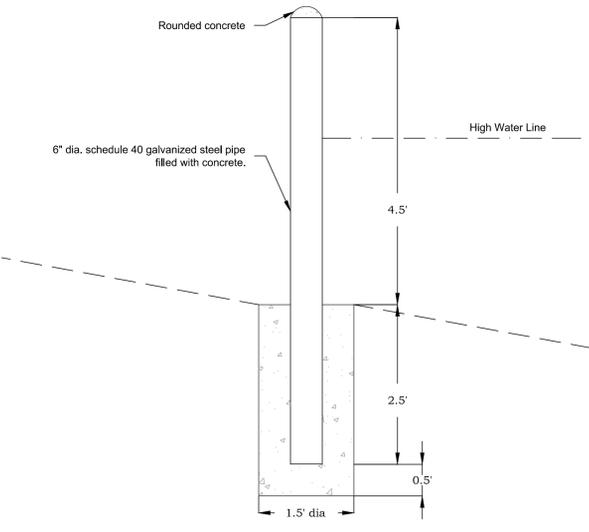
SHEET TITLE	Details
FILE	M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg

SHEET NO.
12

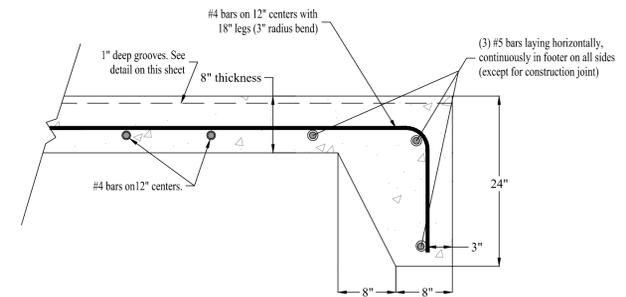
7/2/15



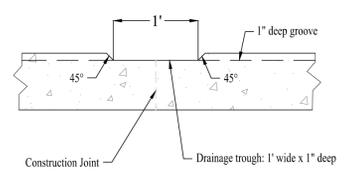
BOAT RAMP SECTION B-B' DETAIL
(not to scale)



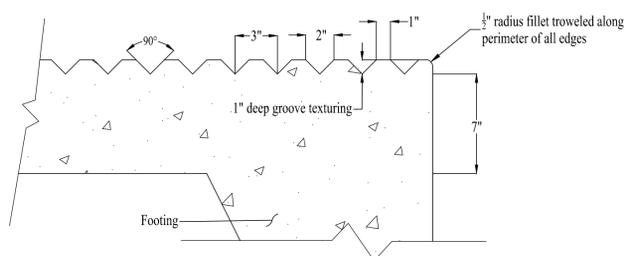
BOLLARD DETAIL
(not to scale)



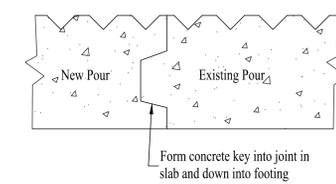
THICKENED EDGE FOOTING DETAIL
Scale: 1" = 1"



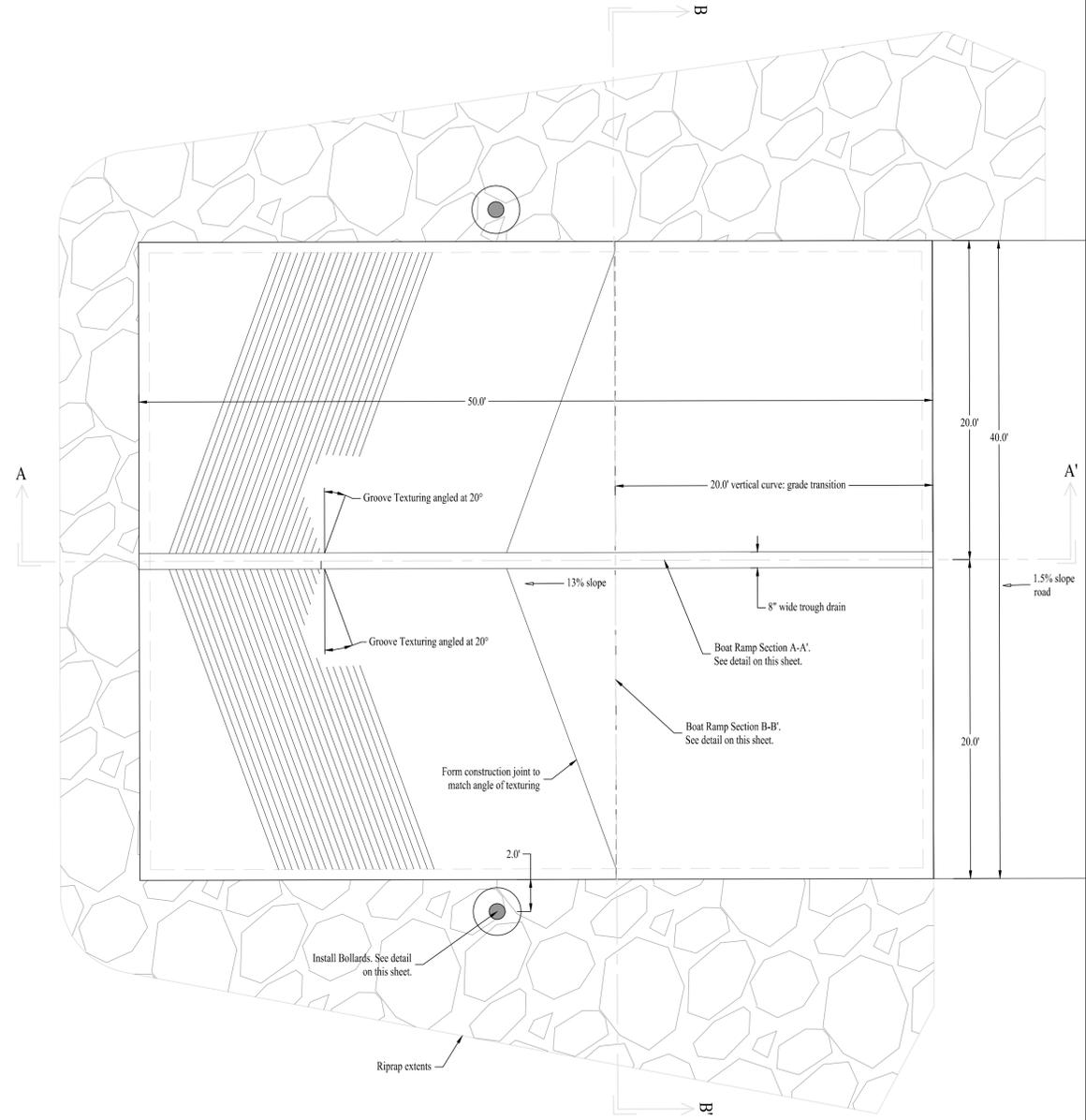
TROUGH DRAIN DETAIL
Scale: 1" = 1"



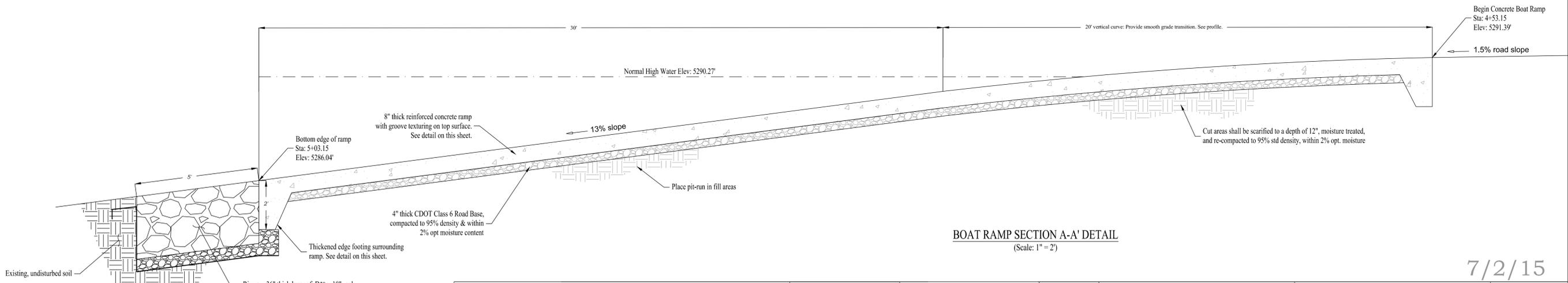
ANGLE GROOVE TEXTURING DETAIL
Scale: 2" = 1"



CONSTRUCTION JOINT
Scale: 2" = 1"



BOAT RAMP PLAN VIEW DETAIL
(Scale: 1" = 5")



BOAT RAMP SECTION A-A' DETAIL
(Scale: 1" = 2")

This Drawing Not Valid Unless Latest Revision Initials Are Handwritten					Original Drawing Preparation		
No.	Description	By	Date	Approved	Date	By	Date
1	Intersection and one way signage added	EB	2-12-14	CM	2-12-14	Drawn	EB 3-12
						Checked	CM 1-6-14
						Approved	CM 1-6-14
						Client Approved	



PO Box 1301
Rifle, CO 81650
Tel 970-625-4933
Fax 970-625-4564

CLIENT
VIF Advisory Board

PROJECT
Rifle Boat Ramp

SHEET TITLE
Boat Ramp Details

FILE
M:\Land Projects R2\887-Rifle Boat Ramp\dwg\CRE Design.dwg

SHEET NO.
13

Revision

7/2/15

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